



Alecia D. Drenckhahn

ARCHITECTURE PORTFOLIO

e: alecia.drenckhahn@gmail.com c: 507.429.6637

BEN & JERRY'S, NATIONAL HARBOR

I was part of a team that worked on many projects in the National Harbor. This project was for the owner-developer to pitch to a Ben & Jerry's franchisee. The idea was to move the ice cream parlor into the space that was soon to be vacated by the Peeps store. I created the model in SketchUp from the original building blueprints. I used Lumion and Photoshop to create the renderings.





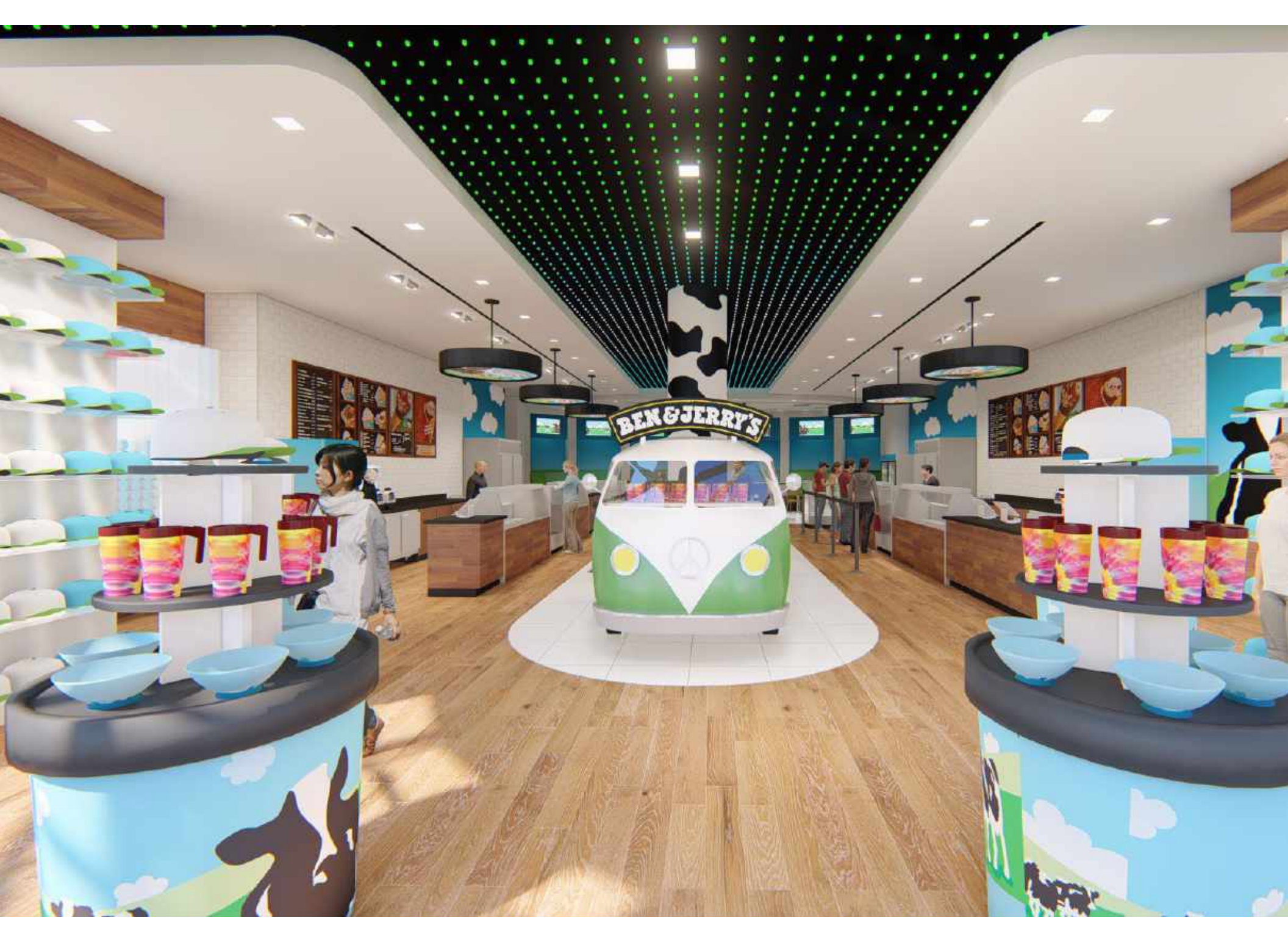
BEN & JERRY'S

Peace, Love & Ice Cream

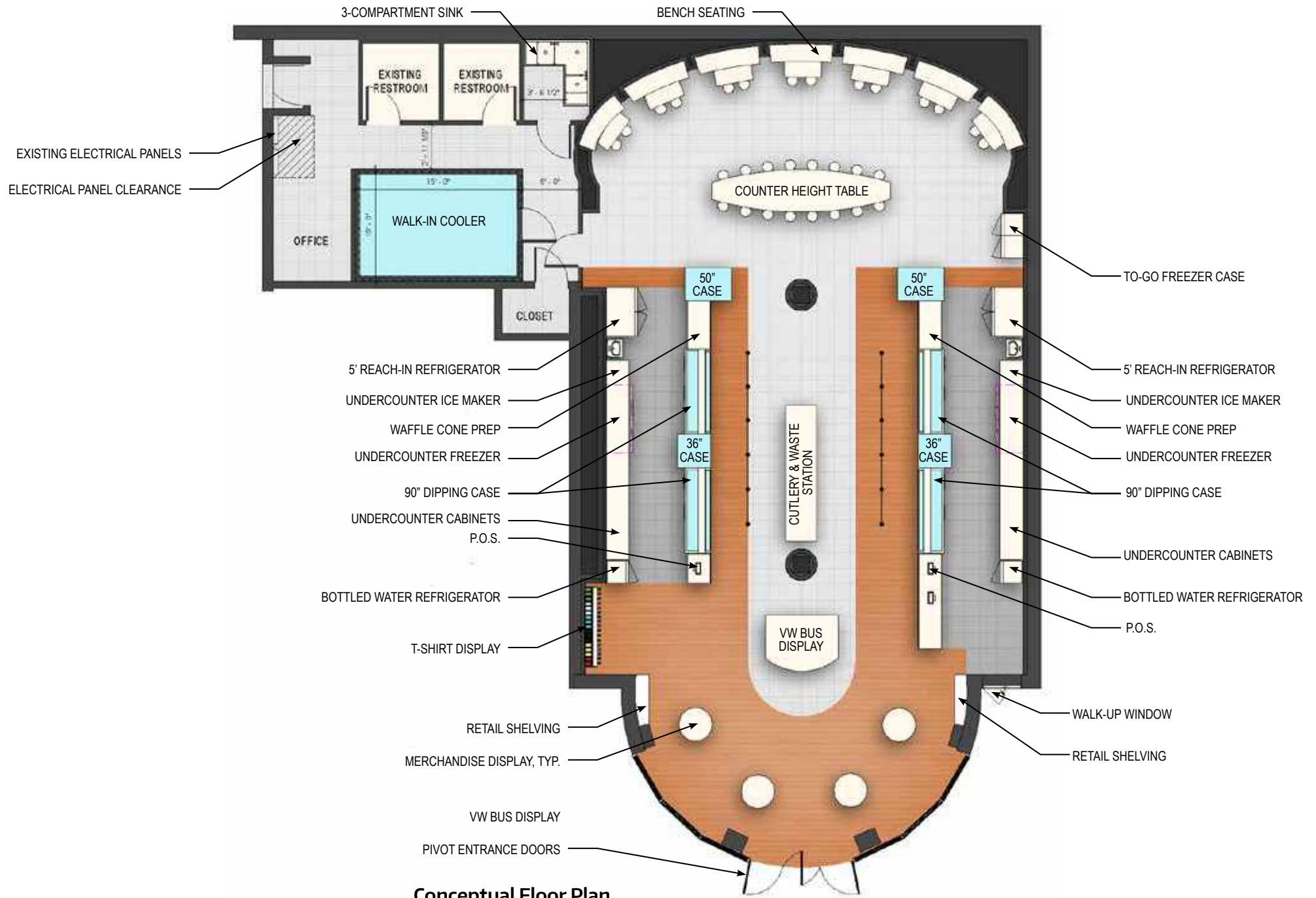


BEN & JERRY'S

GO







Conceptual Floor Plan

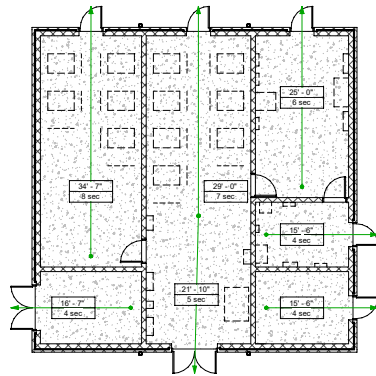




TV 900, REAGAN NATIONAL AIRPORT

I was part of a design-build team contracted to relocate sensitive runway equipment to be outside of the flood zone. Although the building itself was fairly small in size, the project was very intensive. It involved phased construction and fast-track scheduling. I attended weekly progress meetings and was solely responsible for the building design. There were many unusual structural and spatial requirements for this project so I worked very closely with the MEP and Structural engineers to ensure a responsive design was achieved. The project was developed in Revit with incorporated AutoCAD files.

OCCUPANCY AND EXIT CALCULATIONS							
#	ROOM NAME	Occupancy	Area	LOAD FACTOR	OCCUPANT LOAD	REQUIRED EXIT WIDTH	PROVIDED EXIT WIDTH
1	MECHANICAL ROOM	S	140 SF	300 SF	0	0' - 0"	6'-0"
2	TAXIWAYS ROOM	S	448 SF	300 SF	1	0' - 0"	3'-0"
3	RUNWAYS ROOM	S	619 SF	300 SF	2	0' - 1"	9'-0"
4	ELECTRICAL ROOM	S	289 SF	300 SF	1	0' - 0"	3'-0"
5	ELEC. EMERGENCY	S	116 SF	300 SF	0	0' - 0"	3'-0"
6	FAA	S	129 SF	300 SF	0	0' - 0"	3'-0"
Grand total			1,741 SF		6	0' - 2"	



EGRESS PLAN
1/8" = 1'-0"

- Building Official
Building Codes/Environmental Department Manager For The Office of Engineering
- Applicable Codes
2015 Uniform Statewide Building Code
2015 International Building Code
2015 International Energy Conservation Code
2015 International Mechanical Code
2015 International Plumbing Code
2014 National Electrical Code w/ Local Amendments (NFPA 70)
2015 NFPA 13 Installation of Sprinkler Systems
ICC/ANSIA 117.1 Accessible and Usable Buildings and Facilities
- Building Use and Occupancy: (IBC 311.3)
A. Unoccupied
S-2 Low-Hazard Storage
- Type of Construction: IIB, Non-Sprinklered (IBC 602.2)
- Building Height and Area: Use most restrictive use, S-2 (IBC 504.3, 506.2)
Mixed Occupancy, one story (IBC 506.2.2)

	Allowable	Actual
Floor Area	26,000 sq/ft	2,025 sq/ft
Height (Stories)	3	1
Height (Feet)	55	24'-0"
- Means of Egress
A. Allowances per occupant (IBC Table 1004.1.2) (SF/OCC.)
Storage, Accessory 300 gsf
Mechanical 300 csf
B. Number of exits per occupant (IBC Table 1006.2.1): 2 MIN.
C. Exit access travel distance with sprinkler system (IBC Table 1017.2):
S-2 300 feet
D. Dead-end corridor for Group S (IBC 1020.4): 20 feet maximum
E. Minimum Ceiling Height (IBC 1003.2): 7'-6"
F. Minimum Headroom of Protruding Objects (1003.3.1): 6'-8"
G. Egress Width (inches/occupant):
Stairways (IBC 1005.3.1) 0.3
Other components (IBC 1005.3.2) 0.2
H. Minimum stair width (IBC 1011.2): 44"
I. Handrail height (IBC 1014.1): 34"-38"
J. Guard Height (IBC 1015.3): 42"
K. Egress through intervening spaces shall comply with IBC 1016.2.
L. Common Path of Egress Travel without sprinkler system (IBC Table 1006.2.1)
S 100 feet (< 30 occupants)
- Fire Resistance of Elements for Type IIB (IBC Table 601)

	Required	Provided
A. Primary Structural Frame	0 hr	0 hr
B. Bearing Walls		
Exterior	0 hr	0 hr
Interior	0 hr	0 hr
C. Nonbearing Walls and Partitions		See Table 602
Exterior		
Interior	0 hr	0 hr
D. Floor Construction and Secondary Members	0 hr	0 hr
E. Roof Construction and Secondary Members	0 hr	0 hr
- Fire resistance rating of exterior walls for Groups B, R, S-2, Type IIB (IBC Table 601):

Fire Separation Dist (feet)	Fire Resistance Rating Required (hr)	Provided
0-4	1	2
5-9	1	2
10-29	0	2
30+	0	2
- Interior Finish and Trim, Sprinklered (IBC Table 803.11):

Group	Passageways	Corridors, Exit Access Stairs/Ramps	Rooms or Enclosed Spaces
S	Class C	Class C	Class C

Interior Floor Finish (IBC 804.4.2): Class II
Interior Trim (IBC 806.7): Class C
Interior Wall Base (IBC 806.8): Class II
- Minimum Roof Covering Classification for Type IIB (Table 1505.1): C
- Combustible Materials permitted (IBC 603.1):
Fire-retardant-treated wood;
non-bearing partitions of fire resistance rating < 2 hours
non-bearing non-rated exterior walls
roof construction
Acoustical insulation of flame spread index of not more than 25
- Fire Extinguishers shall be provided in occupancies and locations as required by 2015 NFPA 1.
a. Maximum Floor Area per Extinguisher: 11,250 sf
b. Maximum Travel Distance to Extinguisher: 75 feet
- Structural loads shall be furnished by the structural engineer and materials testing service.
- All building materials and construction methods shall be in accordance with all applicable codes including OSHA.

NO.	REVISION	DATE



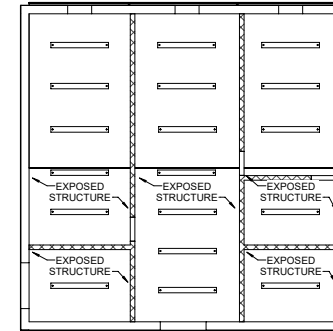
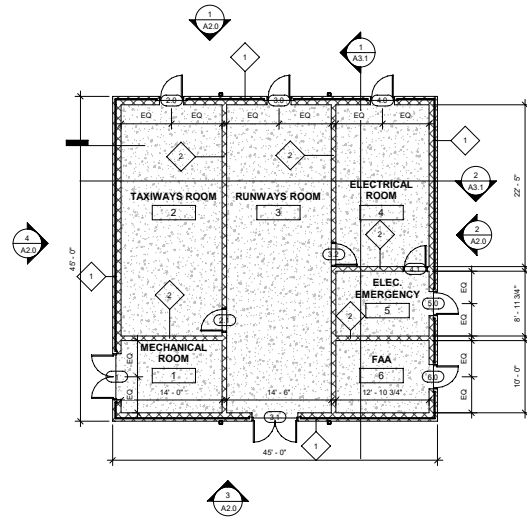
DATE	07/13/20
SCALE	AS SHOWN
DESIGNED	A.D.D.
CHECKED	G.G.
APPROVED	A.D.D.
SUBMITTED	
APPROVED	



TV 900 RELOCATION
RONALD REAGAN NATIONAL AIRPORT
CODE REVIEW

PROJECT IDENTIFIER	19079 00
SHEET NUMBER	CR-1
VOLUME NUMBER	1 of 1
SHEET NUMBER	of

SYMBOL	DESCRIPTION	RCP NOTES
	8' 0" CEILING-MOUNTED PENDANT LED LIGHT FIXTURE.	1. COORDINATE WITH ELECTRICAL, MECHANICAL, AND FIRE PROTECTION DRAWINGS BY OTHERS FOR LOCATION OF AIR DIFFUSERS, FIRE ALARM AND EMERGENCY LIGHTING, ETC. NOTIFY ARCHITECT IF CONFLICT OCCURS.
		2. SEE ELECTRIC PLAN FOR EXACT LENGTH, MODEL NUMBER, AND CIRCUITING INFORMATION FOR EACH LIGHT FIXTURE.
		3. CEILING HEIGHTS ARE AS SHOWN ON PLAN.
		4. IN THE EVENT OF DISCREPANCIES BETWEEN QUANTITY, LOCATIONS, AND OR TYPE OF LIGHT FIXTURES BETWEEN ARCHITECTURAL, AND ENGINEERING DRAWINGS NOTIFY ARCHITECT FOR REVIEW. ARCHITECTURAL DRAWINGS GOVERN.
		5. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE QUANTITY OF MATERIALS ON THIS PLAN. NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN QUANTITY REQUIRED AND QUANTITY SHOWN.
		SEE ELECTRICAL AND FIRE ALARM DRAWINGS FOR FIXTURE SPECIFICATIONS.



NO.	REVISION	DATE
Revision 1		00/00/00




DATE	07/10/20
SCALE	AS SHOWN
DESIGNED	A.D.D.
CHECKED	G.G.
ACCEPTED	A.D.D.
SUBMITTED	
APPROVED	



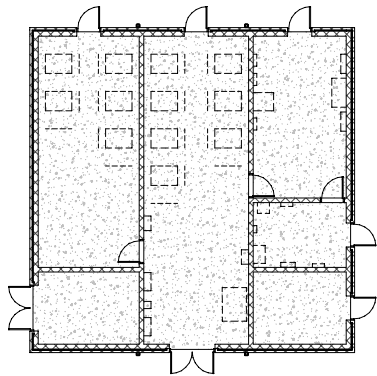
TV 900 RELOCATION
RONALD REAGAN NATIONAL AIRPORT
PROPOSED FLOOR & REFLECTED CEILING PLANS

PROJECT IDENTIFIER	19079.00
SHEET NUMBER	A1.1
VOLUME NUMBER	1 of 1
SHEET NUMBER	of

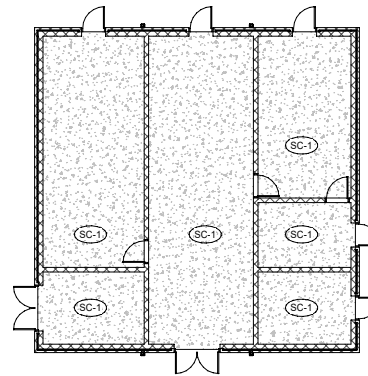
FLOOR FINISH LEGEND

SEALED CONCRETE (SC-1)	
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GENERAL NOTES:
 1. SEE A/E/T FOR THRESHOLD & TRANSITION DETAILS.
 2. FLOOR HATCHES AT CARPET & TILE ARE FOR ILLUSTRATIVE PURPOSES ONLY. SEE FINISH LEGEND A-6.1 FOR INSTALLATION PATTERNS.



① EQUIPMENT PLAN
1/8" = 1'-0"



② PROPOSED FLOOR FINISH PLAN
1/8" = 1'-0"



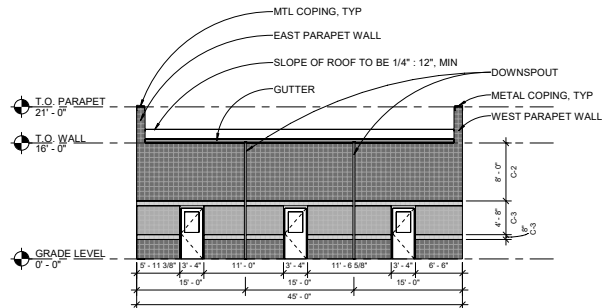
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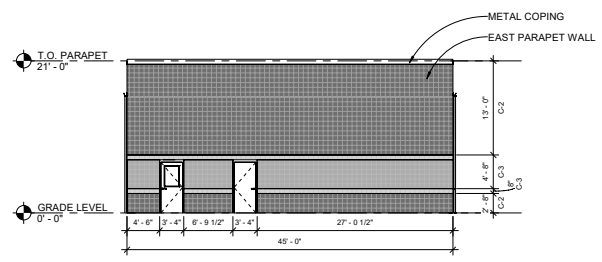
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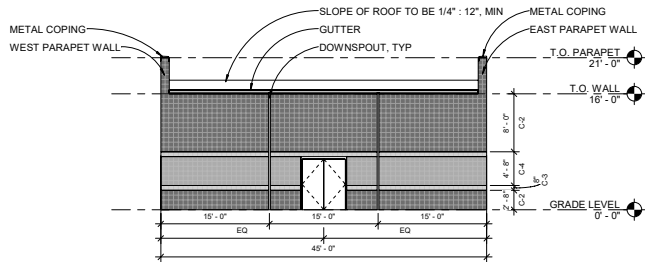
TV 900 RELOCATION RONALD REAGAN NATIONAL AIRPORT	PROJECT IDENTIFIER 19079.00
PROPOSED EQUIPMENT & FINISH PLANS	SHEET NUMBER A1.3
	VOLUME NUMBER 1 of 1
	SHEET NUMBER of



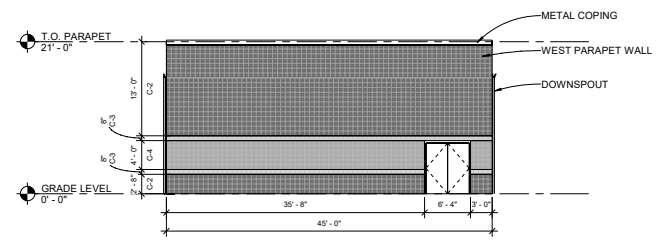
1 EXTERIOR BUILDING ELEVATION - PLAN NORTH FACADE
1/8" = 1'-0"



2 EXTERIOR BUILDING ELEVATION - PLAN EAST FACADE
1/8" = 1'-0"



3 EXTERIOR BUILDING ELEVATION - PLAN SOUTH FACADE
1/8" = 1'-0"



4 EXTERIOR BUILDING ELEVATION - PLAN WEST FACADE
1/8" = 1'-0"

EXTERIOR MATERIALS LEGEND		
<p>C-1 CMU BLOCK MANF: ADAMS PRODUCTS COMPANY COLOR: LT GRAY SIZE: 8" x 16" x 16" (FOUNDATION) REMARKS: NONE</p>	<p>C-3 CMU BLOCK (CENTER SCORED) MANF: ADAMS PRODUCTS COMPANY COLOR: LT GRAY SIZE: 8" x 16" x 4" REMARKS: ACCENT COLOR</p>	<p>M-1 MORTAR MFR: EP HENRY COLOR: F208SSPS (WHITE SAND) REMARKS: NONE</p>
<p>C-2 CMU BLOCK (CENTER SCORED) MANF: ADAMS PRODUCTS COMPANY COLOR: CHARCOAL SIZE: 8" x 16" x 4" REMARKS: MAIN FIELD</p>	<p>C-4 CMU BLOCK (SPLIT FACE) MANF: ADAMS PRODUCTS COMPANY COLOR: S312 SIZE: 8" x 8" x 4" REMARKS: NONE</p>	<p>MC-1 METAL COPING/GUTTER/DOWNSPOUT MFR: HALLWALL CORPORATION COLOR: ALUM #80 REMARKS: CORROSION RESISTANT FINISH</p>

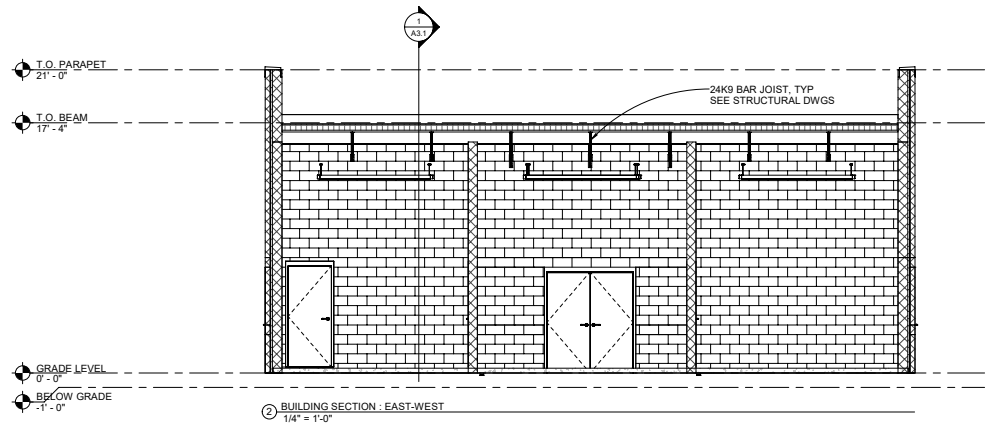
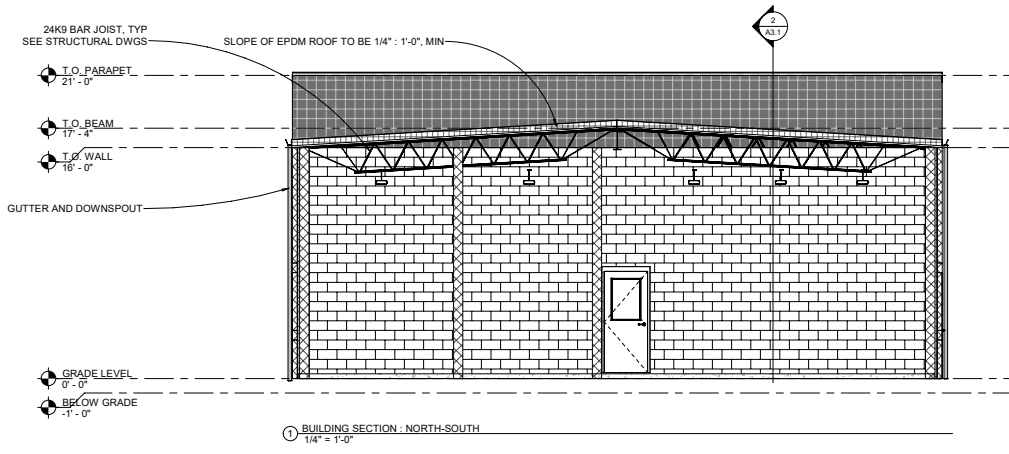
Revision 1		0000000
NO.	REVISION	DATE



DATE	07/13/20
SCALE	AS SHOWN
DESIGNED	A.D.D.
CHECKED	G.G. A.D.D.
ACCEPTED	
SUBMITTED	
APPROVED	



PROJECT IDENTIFIER	TV 900 RELOCATION	19079.00
SHEET NUMBER	RONALD REAGAN NATIONAL AIRPORT	A2.0
VOLUME NUMBER	EXTERIOR ELEVATIONS	1 of 1
SHEET NUMBER		of



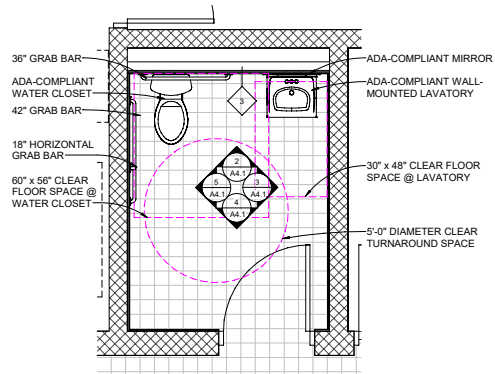
NO.	REVISION	DATE
Revision 1		000000



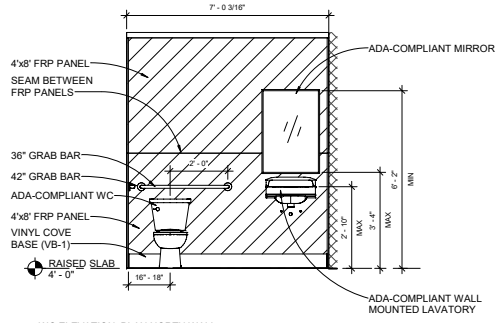
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APPROVED	A.D.D.
SUBMITTED	
APPROVED	



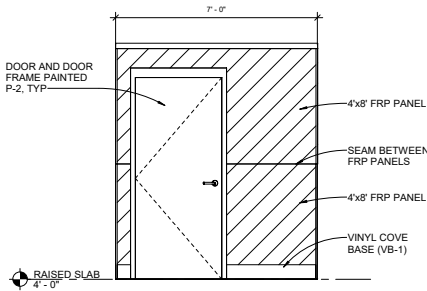
TV 900 RELOCATION	PROJECT IDENTIFIER 19079.00
RONALD REAGAN NATIONAL AIRPORT	SHEET NUMBER AS.1
BUILDING SECTIONS	VOLUME NUMBER 1 of 1
	SHEET NUMBER of



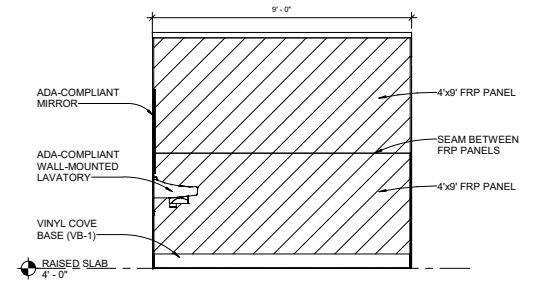
1 ENLARGED WC FLOOR PLAN
 1/2" = 1'-0"



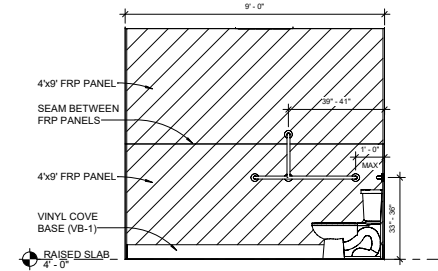
2 WC ELEVATION: PLAN NORTH WALL
 1/2" = 1'-0"



4 WC ELEVATION: PLAN SOUTH WALL
 1/2" = 1'-0"



3 WC ELEVATION: PLAN EAST WALL
 1/2" = 1'-0"



5 WC ELEVATION: PLAN WEST WALL
 1/2" = 1'-0"

NO.	REVISION	DATE



DATE	02/12/20
SCALE	AS SHOWN
DESIGNED	A.D.D.
DRAWN	G.G.
CHECKED	A.D.D.
APPROVED	



PROJECT IDENTIFIER	19079.00
SHEET NUMBER	A4.1
VOLUME NUMBER	1 of 1
SHEET NUMBER	of

TV 900 RELOCATION
 RONALD REAGAN NATIONAL AIRPORT
ENLARGED WC PLAN & ELEVATIONS

MET CAFE

This project is for a new cafe and event venue in Washington, DC. As the project manager I reviewed all submittals, attended weekly construction meetings, answered RFIs, and coordinated between building ownership, engineers, the project owner, and the rest of the design team. Post permit issuance I also worked with the CFA for the exterior signage for this venue. The entire project was developed in AutoCAD.

CAFE

GENERAL CONSTRUCTION NOTES	SCOPE OF WORK	SITE PLAN																																																																																														
<ol style="list-style-type: none"> CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWING AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT AND THE OWNER OF ANY DISCREPANCIES, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB. DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN SMALL SCALE PLANS. ALL WORK SHALL CONFORM TO STATE AND LOCAL BUILDING CODES, FIRE, HEALTH, WSSC, ETC. ALL PARTITIONS ARE DIMENSIONED TO OUTSIDE SURFACE, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE BRACING AND BLOCKING OF WALLS RECEIVING MILLWORK, SHELVING, ETC. WHERE RUBBER BASE IS SPECIFIED, SET ABOVE CARPET. ALL FLOORS SHALL BE LEVELLED AND FREE OF (IRREGULARITIES) TO ASSURE ONE CONSTANT FLOOR HEIGHT SET THAT DOOR BUICKS WHEN SET ARE AT CONSISTENT DIMENSIONS FROM THE CEILING, WITH NO GAPS BETWEEN THE BOTTOM OF THE DOOR BUICK AT THE SLAB AFTER CARPETING AND OTHER FLOOR FINISHES ARE INSTALLED. ANY UNAVOIDABLE CHANGES IN THE FLOOR HEIGHT SHALL BE GRADUALLY RAISED AND THE "TROWELLED TO CREATE A RAMPA-LIKE EFFECT. ALL DEPRESSIONS, CRACKS, SCREDS, AND EXPANSION JOINTS ARE TO BE FILLED WITH A GOOD GRADE NON-CRUMBLE LATEX BASE FLASHING COMPOUND, WATER PUTTY OR CRACK FILLER. ALL WALL DUPLEX, TELEPHONE AND SWITCH BOXES ARE TO BE CALKED, AS PER BUILDING STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING WITH TENANT/ OWNER REPRESENTATIVE FOR PARKING REGULATIONS, LOADING REGULATIONS AND ROOD ACCESS AS WELL AS SCHEDULING FOR ACCESS TO TENANT SPACES. FOR INFORMATION ON COLUMNS, EXTERIOR WALLS CORE AREA, ETC.; SEE BASE BUILDING ARCHITECTURAL DRAWINGS, SHELL AND CORE DRAWINGS. ALL WORK IS TO CONFORM WITH OWNER'S DRAWINGS AND SPECIFICATIONS. ALL CONTRACTORS ARE RESPONSIBLE FOR LAYING OUT EQUIPMENT RUNS TO INTERFERENCES. IF THE LIGHT FIXTURES OR OTHER ELEMENTS ON OR ABOVE THE CEILING CANNOT BE LOCATED AS PER THE PLANS, THIS MUST BE NOTED BEFORE BIDDING SO REVISIONS MAY BE MADE AND INCLUDED IN BIDS. DOORS AND FRAMES WHICH REQUIRE A FIRE RESISTANT RATING SHALL BE APPROVED BY THE NATIONAL BOARD OF UNDERWRITERS. AFTER THE JOB IS IN PROGRESS, "ADDENDUMS" OR "CHANGE ORDERS" MUST BE APPROVED IN WRITING BY THE OWNER AND/OR ARCHITECT. EXIT AND DIRECTIONAL SIGNS AND LIGHTS SHALL COMPLY WITH STATE AND LOCAL CODES. SEE REFLECTED CEILING PLANS. PERFORMANCE OF ALL WALL AIR HANDLING UNITS SHALL BE CHECKED AND ANY PROBLEMS SHALL BE REPAIRED TO A LIKE NEW CONDITION. CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING AND PARTITION WALLS AS REQUIRED AND AT ALL DOOR OPENINGS. DRYWALL CONTROL JOINTS SHALL BE PROVIDED IN ACCORDANCE WITH RECOMMENDED PRACTICES OF THE UNITED GYPSUM ASSOCIATION. ALL MISCELLANEOUS BLOCKING IS TO BE FIRE RETARDANT. CONTRACTOR TO REFINISH ALL FLOORS NOT RECEIVING NEW CARPET. ALL ANGLES SHOWN ARE 45 DEGREES, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARY PERMITS. CONTRACTOR MAY SUBSTITUTE MATERIALS AND/OR CONSTRUCTION UPON SUBMISSION TO AND APPROVAL BY THE ARCHITECT. DIMENSIONS NOTED "HOLD" NOT ADJUSTABLE WITHOUT APPROVAL BY THE ARCHITECT. ISOLATE DISSIMILAR METALS IN CONTACT WITH EACH OTHER. ALL DOORS, DOOR FRAMES, AND SHELVING SHALL BE FINISHED WITH SEMI-GLOSS ENAMEL. ALL OTHER SURFACES ARE TO BE FLAT PAINT, UNLESS NOTED OTHERWISE. CONTRACTOR SHALL FURNISH AND INSTALL EXTINGUISHERS, FIRE DAMPERS, AND SMOKE DETECTORS AS REQUIRED BY THE FIRE MARSHALL AND LOCAL CODES. CONTRACTOR SHALL COORDINATE INSTALLATION OF FIRE PULL BOXES, FIRE BELLS, AND EXIT SIGNS, ETC. AS REQUIRED BY LOCAL CODES. CONTRACTOR SHALL SCHEDULE AND PERFORM ALL WORK SO AS NOT TO REASONABLY DISTURB ANY TENANT IN THE BUILDING AND SHALL BE RESPONSIBLE FOR ANY OVERTIME COSTS INCURRED THEREBY. CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS AND REFUSE AND CLEANING OF ALL INTERIOR GLASS SURFACES. UPON COMPLETION OF THE WORK, CONTRACTOR SHALL NOTIFY OWNER TO COMPLETE A PUNCHLIST OF CORRECTIONS. CONTRACTOR SHALL REPLACE ALL EXISTING EXIT EMERGENCY LIGHTS IN LOCATIONS AS SHOWN AFTER NEW CEILING AND NEW WALL FINISHES ARE INSTALLED. CONTRACTOR SHALL REPLACE AND RESTORE EXISTING FINISHES AND SURFACES AS AFFECTED BY NEW CONSTRUCTION. ELECTRICAL CONTRACTOR SHALL CIRCUIT RECEPTACLES TO AVAILABLE SPARES IN EXISTING PANEL BOX. ELECTRICAL CONTRACTOR SHALL CAP OFF ALL UNUSED EXISTING WIRING. CONTRACTOR TO PROVIDE LOCKABLE TENANT SPACE DURING NON-WORK HOURS. MAINTENANCE MATERIALS: DELIVER USABLE SCRAPS OF CARPET, UNUSED REMOVED DOORS AND ANY OTHER REUSABLE MATERIALS TO THE OWNER'S DESIGNATED STORAGE AREA. 	<p>NEW CAFE EVENT VENUE, NEW COMMERCIAL KITCHEN, NEW PARTITIONS, NEW LIGHTING AND POWER, NEW PLUMBING, NEW MECHANICAL, REVISED SPRINKLERS, NEW FINISHES, EXISTING SPACE IS VACANT WARM DARK SHELL CONDITION.</p> <p>FLAME SPREAD</p> <p>ALL FINISHES SHALL COMPLY WITH THE FLAME SPREAD INDEX AND SMOKE DEVELOPMENT INDEX VALUES OBTAINED BY THE ASTM E 84 TEST.</p> <p>ALL FINISHES SHALL BE:</p> <p>CLASS A: 0-25 FLAME SPREAD INDEX 0-45 SMOKE DEVELOPMENT INDEX</p> <p>CARPET - CLASS 1 BASED ON THE ACCEPTED CLASSIFICATION SYSTEM DESCRIBED IN THE NATIONAL FIRE PROTECTION ASSOCIATION PUBLICATION NFPA 101 LIFE SAFETY CODE.</p>	<p>SITE PLAN SITE PLAN IS SHOWN FOR REFERENCE ONLY; NOT TO SCALE.</p>																																																																																														
<ol style="list-style-type: none"> CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING AND PARTITION WALLS AS REQUIRED AND AT ALL DOOR OPENINGS. DRYWALL CONTROL JOINTS SHALL BE PROVIDED IN ACCORDANCE WITH RECOMMENDED PRACTICES OF THE UNITED GYPSUM ASSOCIATION. ALL MISCELLANEOUS BLOCKING IS TO BE FIRE RETARDANT. CONTRACTOR TO REFINISH ALL FLOORS NOT RECEIVING NEW CARPET. ALL ANGLES SHOWN ARE 45 DEGREES, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARY PERMITS. CONTRACTOR MAY SUBSTITUTE MATERIALS AND/OR CONSTRUCTION UPON SUBMISSION TO AND APPROVAL BY THE ARCHITECT. DIMENSIONS NOTED "HOLD" NOT ADJUSTABLE WITHOUT APPROVAL BY THE ARCHITECT. ISOLATE DISSIMILAR METALS IN CONTACT WITH EACH OTHER. ALL DOORS, DOOR FRAMES, AND SHELVING SHALL BE FINISHED WITH SEMI-GLOSS ENAMEL. ALL OTHER SURFACES ARE TO BE FLAT PAINT, UNLESS NOTED OTHERWISE. CONTRACTOR SHALL FURNISH AND INSTALL EXTINGUISHERS, FIRE DAMPERS, AND SMOKE DETECTORS AS REQUIRED BY THE FIRE MARSHALL AND LOCAL CODES. CONTRACTOR SHALL COORDINATE INSTALLATION OF FIRE PULL BOXES, FIRE BELLS, AND EXIT SIGNS, ETC. AS REQUIRED BY LOCAL CODES. CONTRACTOR SHALL SCHEDULE AND PERFORM ALL WORK SO AS NOT TO REASONABLY DISTURB ANY TENANT IN THE BUILDING AND SHALL BE RESPONSIBLE FOR ANY OVERTIME COSTS INCURRED THEREBY. CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS AND REFUSE AND CLEANING OF ALL INTERIOR GLASS SURFACES. UPON COMPLETION OF THE WORK, CONTRACTOR SHALL NOTIFY OWNER TO COMPLETE A PUNCHLIST OF CORRECTIONS. CONTRACTOR SHALL REPLACE ALL EXISTING EXIT EMERGENCY LIGHTS IN LOCATIONS AS SHOWN AFTER NEW CEILING AND NEW WALL FINISHES ARE INSTALLED. CONTRACTOR SHALL REPLACE AND RESTORE EXISTING FINISHES AND SURFACES AS AFFECTED BY NEW CONSTRUCTION. ELECTRICAL CONTRACTOR SHALL CIRCUIT RECEPTACLES TO AVAILABLE SPARES IN EXISTING PANEL BOX. ELECTRICAL CONTRACTOR SHALL CAP OFF ALL UNUSED EXISTING WIRING. CONTRACTOR TO PROVIDE LOCKABLE TENANT SPACE DURING NON-WORK HOURS. MAINTENANCE MATERIALS: DELIVER USABLE SCRAPS OF CARPET, UNUSED REMOVED DOORS AND ANY OTHER REUSABLE MATERIALS TO THE OWNER'S DESIGNATED STORAGE AREA. 	<p>PROJECT INFORMATION</p> <p>PROJECT DESCRIPTION: NEW CAFE/Event VENUE 1750 NEW YORK AVE NW, WASHINGTON, D.C.</p> <p>PROJECT ADDRESS:</p> <p>APPLICABLE CODES:</p> <ul style="list-style-type: none"> IBC 2012 IPC 2012 IFSC 2012 IECC 2012 IEBC 2012 NFPA 70-2014 IGCC 2012 ADA 2010 VISIB: 2012 NFPA 1-2012 NFPA 101-2012 NFPA 13, 13R, 13D-2013 NFPA 72-2013 ICC ANS I 117.1-2009 ADAAG 2012 <p>USE GROUP: A-ASSEMBLY</p> <p>OCCUPANCY: SEE OCCUPANCY CALCULATION</p> <p>CONSTRUCTION TYPE: II B</p> <p>BUILDING HEIGHT: 96'</p> <p>HIGH RISE: NO</p> <p>NO. OF STORIES IN PROJECT: 1</p> <p>PROPOSED PROJECT SQFT: 8,426 sqft</p> <p>CEILING: 11'-11"</p> <p>SPRINKLER SYSTEM IN BLDG: YES</p> <p>FIRE ALARM SYSTEM IN BLDG: YES</p>	<p>PROJECT DIRECTORY</p> <p>OWNER</p> <p>ARCHITECT</p> <p>MECHANICAL ELECTRICAL PLUMBING</p> <p>TENANT</p> <p>SEAT COUNT OCCUPANCY</p> <p>SEAT COUNT: 170 SEATS DANCE FLOOR: 15 REMAINDER OF SPACE: 4,904SF @ 1:100 = 50 OCCUPANTS TOTAL OCCUPANT LOAD = 300 OCCUPANTS</p> <p>SEE ALSO SHEETS A-400 AND A-401</p> <p>ARCHITECTURAL</p> <ul style="list-style-type: none"> 0001 COVER SHEET D001 DEMO FLOOR PLAN A100 FLOOR PLAN A101 REFLECTED CEILING PLAN A102 POWER PLAN A103 FINISH PLAN A200 EQUIPMENT ELEVATIONS A201 INTERIOR ELEVATIONS A202 MISC DETAILS A400 CAFE FURNITURE PLAN A401 EVENT FURNITURE PLAN A600 KITCHEN EQUIPMENT A601 KITCHEN EQUIPMENT SCHEDULES A900 SCHEDULES <p>MECHANICAL</p> <ul style="list-style-type: none"> M-001 MECHANICAL COVER SHEET M-101 MECHANICAL SCHEDULES M-201 MECHANICAL SPECIFICATIONS M-302 MECHANICAL SPECIFICATIONS M-301 MECHANICAL 1ST FLOOR DEMOLITION PLAN M-302 MECHANICAL P3 AND ROOF DEMOLITION PLAN M-401 MECHANICAL 1ST FLOOR NEW WORK PLAN M-402 MECHANICAL P3 AND ROOF NEW WORK PLAN M-701 MECHANICAL DETAILS <p>FIRE PROTECTION</p> <ul style="list-style-type: none"> FP001 FIRE PROTECTION COVER SHEET FP201 FIRE PROTECTION SPECIFICATIONS FP401 FIRE PROTECTION PLAN <p>PLUMBING</p> <ul style="list-style-type: none"> P-201 PLUMBING COVER SHEET P-101 PLUMBING SCHEDULES P-201 PLUMBING SPECIFICATIONS P-401 PLUMBING PLAN P-501 PLUMBING DOMESTIC WATER ENLARGED PLAN P-502 PLUMBING SANITARY AND VENT ENLARGED PLAN P-403 PLUMBING GAS ENLARGED PLAN P-504 PLUMBING ENLARGED PLANS P-601 PLUMBING RISERS <p>ELECTRICAL</p> <ul style="list-style-type: none"> E-001 ELECTRICAL COVER SHEET E-002 FIRE ALARM COVER SHEET E-101 ELECTRICAL SCHEDULES E-102 ELECTRICAL LIGHTING FIXTURE SCHEDULE E-201 ELECTRICAL SPECIFICATIONS E-301 ELECTRICAL LIGHTING & FIRE ALARM DEMOLITION PLAN E-302 ELECTRICAL POWER DEMOLITION PLAN E-303 ELECTRICAL POWER DEMOLITION PLAN E-401 ELECTRICAL LIGHTING NEW WORK PLAN E-402 ELECTRICAL POWER NEW WORK PLAN E-403 ELECTRICAL MECHANICAL, POWER NEW WORK PLAN E-404 ELECTRICAL POWER NEW WORK PARTIAL PLAN E-405 ELECTRICAL POWER NEW WORK PARTIAL PLAN E-600 FIRE ALARM NEW WORK PLAN E-601 ELECTRICAL RISER DIAGRAM E-701 ELECTRICAL DETAILS 																																																																																														
<p>PLUMBING FIXTURE CALCULATION</p> <table border="1"> <thead> <tr> <th>SPACE</th> <th>SQFT</th> <th>FACTOR</th> <th>OCCUPANTS</th> </tr> </thead> <tbody> <tr> <td>BRIDAL SUITE</td> <td>813sf</td> <td>1:100</td> <td>8.13</td> </tr> <tr> <td>KITCHEN</td> <td>1,741sf</td> <td>1:200</td> <td>8.71</td> </tr> <tr> <td>PRIVATE OFFICE</td> <td>182sf</td> <td>1:100</td> <td>1.82</td> </tr> <tr> <td>DINING</td> <td>5,154sf</td> <td>1:15</td> <td>343.6</td> </tr> <tr> <td>CAFE OR EVENT</td> <td>4754sf</td> <td>1:15</td> <td>316.9</td> </tr> <tr> <td></td> <td>400sf</td> <td>1:5</td> <td>+80.0</td> </tr> <tr> <td>SUSHI/DELI</td> <td>598sf</td> <td>1:200</td> <td>2.99</td> </tr> </tbody> </table> <p>PLUMBING FIXTURE CALC. PER IBC 2015, TABLE 2802.1 - A-2 - RESTAURANT</p> <table border="1"> <thead> <tr> <th>TENANT</th> <th>OCCUPANTS</th> </tr> </thead> <tbody> <tr> <td>ADJACENT OFFICE SPACE (VACANT)</td> <td>84 (ESTIMATED)</td> </tr> <tr> <td>NET CAFE (OPTION 2 - EVENT)</td> <td>+ 419</td> </tr> <tr> <td>TOTAL FLOOR</td> <td>483</td> </tr> </tbody> </table> <p>483 / 2 = 242 MEN, 242 WOMEN</p> <table border="1"> <thead> <tr> <th>WATER CLOSETS</th> <th>LAVATORIES</th> <th>DRINKING FOUNTAINS</th> <th>OTHER</th> </tr> <tr> <th>MALE</th> <th>MAL/FEMALE</th> <th>MALE</th> <th>FEMALE</th> </tr> </thead> <tbody> <tr> <td>1 per 75</td> <td>1 per 75</td> <td>1 per 200</td> <td>1 per 500</td> </tr> <tr> <td>6</td> <td>6</td> <td>3</td> <td>1</td> </tr> </tbody> </table> <p>OCCUPANT CALCULATIONS</p> <table border="1"> <thead> <tr> <th>OPTION 1 - CAFE</th> <th>OPTION 2 - EVENT</th> </tr> </thead> <tbody> <tr> <td>8.13</td> <td>8.13</td> </tr> <tr> <td>8.71</td> <td>8.71</td> </tr> <tr> <td>1.82</td> <td>1.82</td> </tr> <tr> <td>343.80</td> <td>396.90</td> </tr> <tr> <td>+ 2.99</td> <td>+ 2.99</td> </tr> <tr> <td>365.25 MIN</td> <td>418.55 MAX</td> </tr> </tbody> </table>	SPACE	SQFT	FACTOR	OCCUPANTS	BRIDAL SUITE	813sf	1:100	8.13	KITCHEN	1,741sf	1:200	8.71	PRIVATE OFFICE	182sf	1:100	1.82	DINING	5,154sf	1:15	343.6	CAFE OR EVENT	4754sf	1:15	316.9		400sf	1:5	+80.0	SUSHI/DELI	598sf	1:200	2.99	TENANT	OCCUPANTS	ADJACENT OFFICE SPACE (VACANT)	84 (ESTIMATED)	NET CAFE (OPTION 2 - EVENT)	+ 419	TOTAL FLOOR	483	WATER CLOSETS	LAVATORIES	DRINKING FOUNTAINS	OTHER	MALE	MAL/FEMALE	MALE	FEMALE	1 per 75	1 per 75	1 per 200	1 per 500	6	6	3	1	OPTION 1 - CAFE	OPTION 2 - EVENT	8.13	8.13	8.71	8.71	1.82	1.82	343.80	396.90	+ 2.99	+ 2.99	365.25 MIN	418.55 MAX	<p>OCCUPANT LOAD</p> <p>AREA OF WORK - 8,426 SF</p> <table border="1"> <tbody> <tr> <td>Bridal Suite</td> <td>813sf</td> <td></td> <td></td> </tr> <tr> <td>Office</td> <td>182sf</td> <td></td> <td></td> </tr> <tr> <td></td> <td>1,966sf / 100</td> <td>=</td> <td>18.7 Occupants</td> </tr> <tr> <td>Kitchen</td> <td>1,741sf</td> <td></td> <td></td> </tr> <tr> <td>Sushi/DeLI</td> <td>598sf</td> <td></td> <td></td> </tr> <tr> <td></td> <td>2,339sf / 200</td> <td>=</td> <td>11.7 Occupants</td> </tr> </tbody> </table> <p>1 "VARIES"</p> <p>Cafe 5,154sf (Layout 1) OR Event w/ 400sf Dance Floor (Layout 2) 4,754sf @ 1:15 = 316.9 Occupants + 4,000sf @ 1:5 = 80.0 Occupants 396.9 Occupants</p> <p>TOTAL = 362 (Layout 1) to 419 (Layout 2) Occupants</p>	Bridal Suite	813sf			Office	182sf				1,966sf / 100	=	18.7 Occupants	Kitchen	1,741sf			Sushi/DeLI	598sf				2,339sf / 200	=	11.7 Occupants	<p>SYMBOLS</p> <ul style="list-style-type: none"> WALL SECTION NO. SHEET NO. SECTIONAL DETAIL NO. SHEET NO. DETAIL TARGET, ENLARGEMENT SHEET NO. INTERIOR ELEVATION SYMBOL. DRAWING NO. SHEET NO. AREA DESIGNATION/ROOM NUMBER DOOR NO. BREAK LINE PARTITION TYPES-SEE SCHEDULE <p>ELECTRICAL</p> <ul style="list-style-type: none"> E-001 ELECTRICAL COVER SHEET E-002 FIRE ALARM COVER SHEET E-101 ELECTRICAL SCHEDULES E-102 ELECTRICAL LIGHTING FIXTURE SCHEDULE E-201 ELECTRICAL SPECIFICATIONS E-301 ELECTRICAL LIGHTING & FIRE ALARM DEMOLITION PLAN E-302 ELECTRICAL POWER DEMOLITION PLAN E-303 ELECTRICAL POWER DEMOLITION PLAN E-401 ELECTRICAL LIGHTING NEW WORK PLAN E-402 ELECTRICAL POWER NEW WORK PLAN E-403 ELECTRICAL MECHANICAL, POWER NEW WORK PLAN E-404 ELECTRICAL POWER NEW WORK PARTIAL PLAN E-405 ELECTRICAL POWER NEW WORK PARTIAL PLAN E-600 FIRE ALARM NEW WORK PLAN E-601 ELECTRICAL RISER DIAGRAM E-701 ELECTRICAL DETAILS
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CONSULTANTS

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Job No.

Project

Washington DC

Drawing Title

COVER SHEET

Date	Issue
22 JANUARY 2018	PERMIT
5 MARCH 2018	INTERIOR DESIGN REVIEW
19 JUNE 2018	CITY COMMENTS
19 JANUARY 2019	CLIENT MODIFICATIONS
21 JANUARY 2019	UPDATED SCHEDULES
5 FEBRUARY 2019	UPDATED HOODS

Sheet No.

0001

GENERAL PROPOSED RCP NOTES

- ALL FIXTURES ARE EXISTING, U.N.D.
- ALL GRILLS, REGISTERS, DIFFUSERS, AND LIGHTS INDICATED AS RELOCATED (R) OR NEW (N) ARE SHOWN IN THEIR PROPOSED NEW LOCATION. SEE MECHANICAL DRAWINGS FOR MECHANICAL INFORMATION.
- REMOVE AND RELOCATE EXISTING EXHAUST UNITS, GRILLS, LIGHTS AND DUCT WORK AS REQUIRED TO ACCOMMODATE THE NEW LAYOUT. ALL UNUSED FIXTURES SHALL BE REMOVED AND STORED OR HAULED AWAY AS DIRECTED.
- ELECTRICAL CONTRACTOR SHALL CONFIRM THAT ALL EXISTING BELLS ARE CONNECTED TO THE SPRINKLER SYSTEM HYDRANT.
- CAP OFF ANY UNUSED HVAC DUCTS AS REQUIRED. REMOVE ALL ABANDONED DUCT WORK.
- CLEAN CEILING PLENUM OF ALL TELEPHONE, DATA, SPEAKERS, AND OTHER MISCELLANEOUS WIRE, CONDUIT, AND DEBRIS.
- MECHANICAL CONTRACTOR SHALL VERIFY BALANCING OF NEW LAYOUT.
- SPRINKLER HEADS ARE SHOWN AS EXISTING. SPRINKLER CONTRACTOR SHALL REMOVE/RELOCATE/ADD TO ACCOMMODATE LAYOUT PER NFPA 13.

KEY NOTES

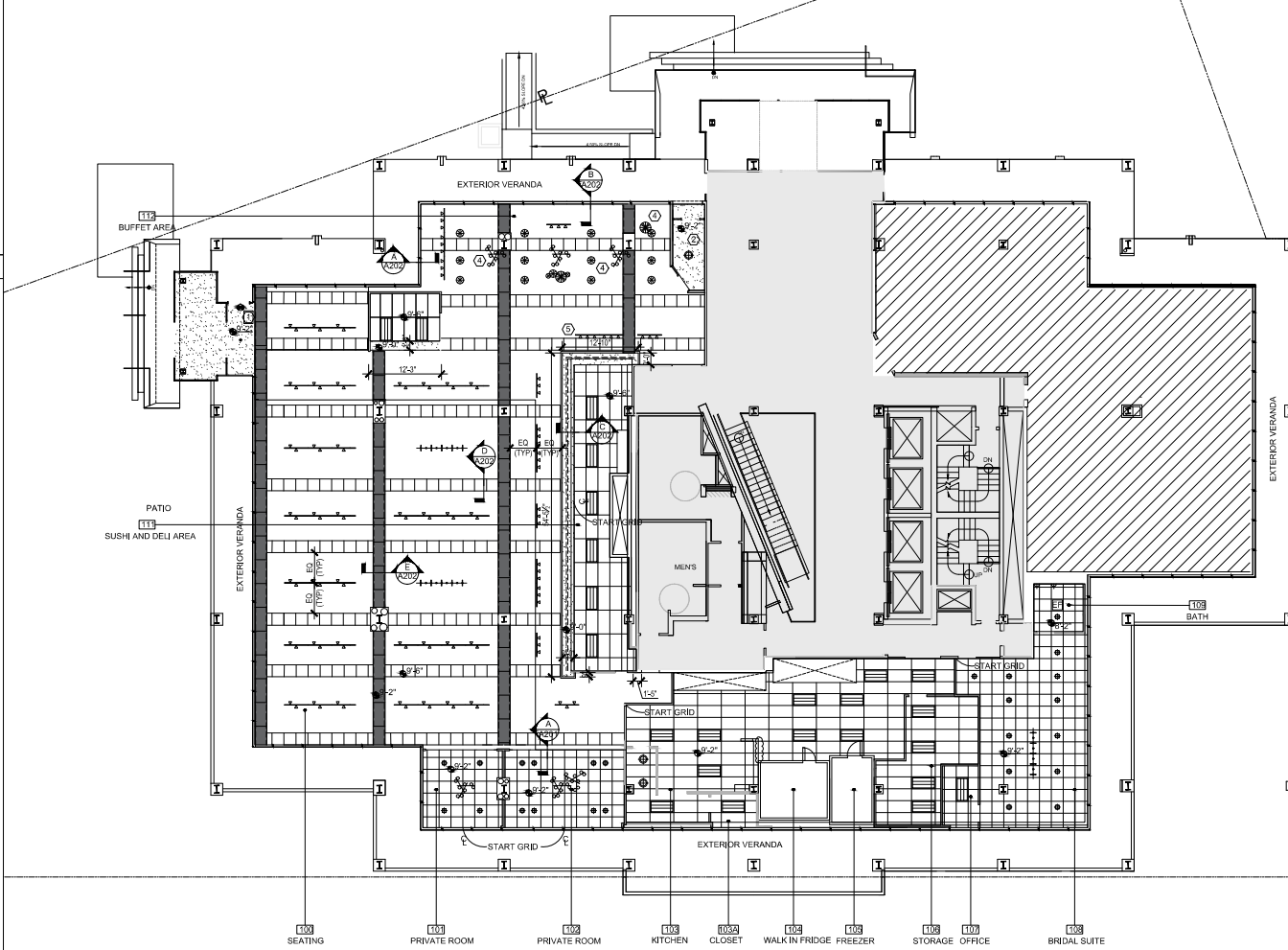
- EXISTING ACCESS PANEL
- NEW GYP. BD. CEILING
- EDGE DETAIL (R/PAGE) TYPICAL AT ALL OPEN CEILING LOCATIONS.
- FINAL LOCATIONS/HEIGHTS OF HANGING FIXTURES TO BE DETERMINED IN FIELD.
- OPTIONAL-RECESSED MECO SHADE-UNPOWERED

***GENERAL NOTE: CONTRACTOR TO REPAIR ANY DAMAGED SPRAY FIREPROOFING ON THE EXISTING BEAMS TO ENSURE RATED COVERAGE**

SYMBOLS

D = DEMO/RELOCATED
E = EXISTING TO REMAIN

- EXISTING PARTITION
- NEW PARTITION
- NOT IN CONTRACT
- SOFFIT
- EXIT SIGN
- ARKTURA-VAPOR TRAIL-2'x4' CEILING TILES @9'-2" AFF
- ARMSTRONG FOOD-SAFE 2' x 4' CEILING TILES @9'-2" AFF
- ARMSTRONG 2' x 2' CEILING TILES @9'-4" AFF U.O.N.
- LED RIBBON LIGHT
- WET LOCATION RECESSED DOWNLIGHT
- 5 x 5 SO LED DOWN LIGHT-DIMMABLE
- EXHAUST FAN
- SONNEMAN CHAMPAGNE WANDS
- 2x4 LED DIRECT INDIRECT LIGHT FIXTURE
- TRACK LIGHT - BLACK-WITH LED BULBS - DIMMABLE, MOUNTED @9'-5" AFF
- SONNEMAN KOMA MELJI PENDANT 7.75"H x 22"D, 120VAC, VIF MOUNTING HEIGHT
- SONNEMAN KOMA MELJI PENDANT 7.22"H x 15"D, 120VAC, VIF MOUNTING HEIGHT
- SONNEMAN KOMA TAISHO PENDANT 11"H x 9"D, 120VAC, VIF MOUNTING HEIGHT
- SONNEMAN LIGHT GUIDE RING 1.5"H x 48"D, 120-277VAC, MOUNTED @9'-2" AFF
- SONNEMAN SUSPENDERS 16"H x 102"W x 11.25"D, 120VAC, MOUNTED @9'-2" AFF



1 REFLECTED CEILING PLAN
Scale: 1/8" = 1'-0"

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Drawing Title

REFLECTED CEILING PLAN

Date	Issue
22 JANUARY 2018	PERMIT
5 MARCH 2018	INTERIOR DESIGN REVIEW
19 JUNE 2018	CITY COMMENTS
19 JANUARY 2019	CLIENT MODIFICATIONS
15 JANUARY 2019	UPDATED SCHEDULES
5 FEBRUARY 2019	UPDATED HOODS

Sheet No.

A101

GENERAL FINISH NOTES

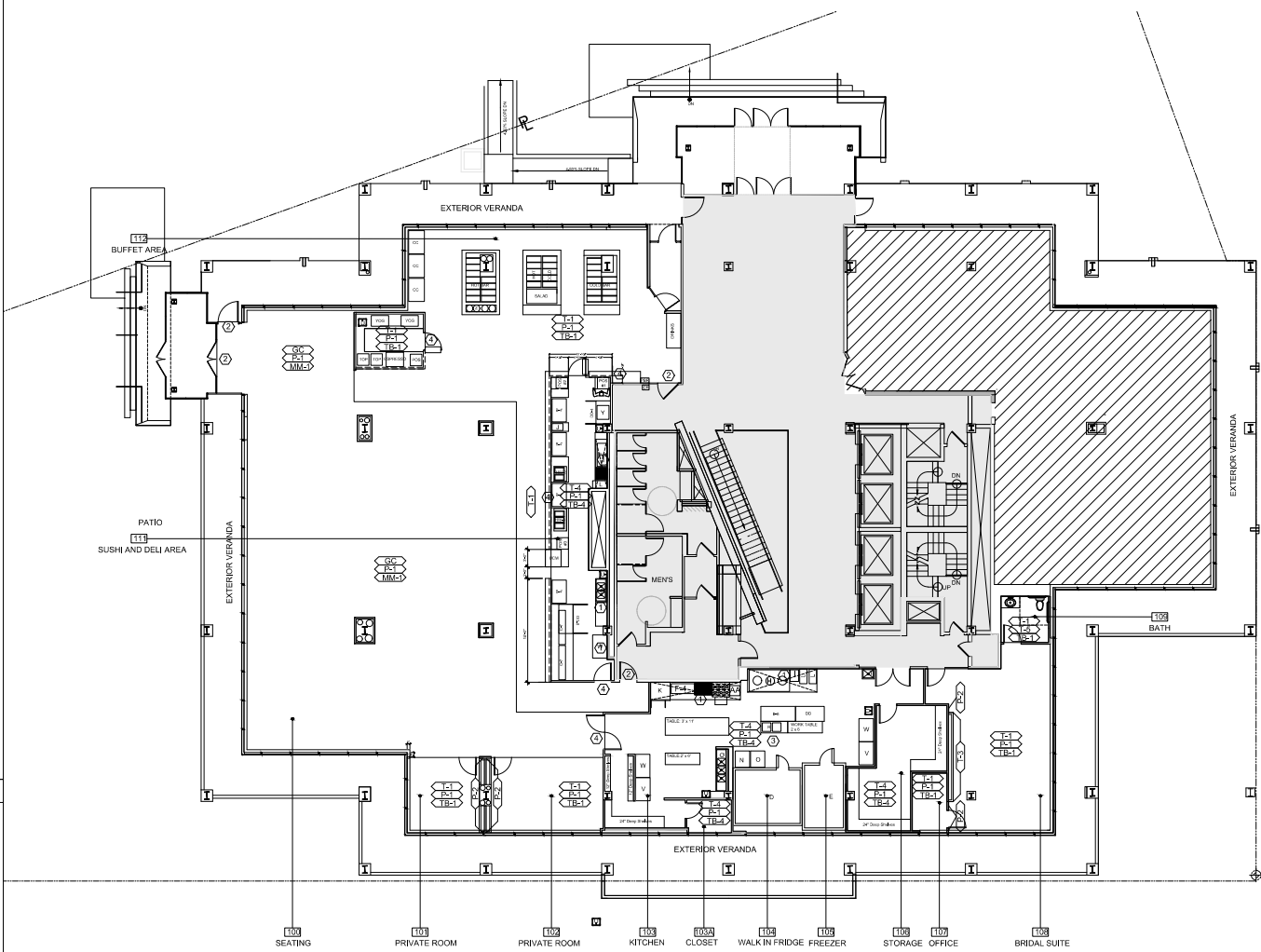
- ALL EXPOSED EDGES AND/OR CORNERS ON ALL PAINTED DRYWALL CONSTRUCTION SHALL RECEIVE A METAL BEAD WHICH IS TO BE TAPED AND FLOATED SMOOTH.
- WHERE NEW WALLS ARE TO ALIGN WITH THE EXISTING WALLS AND/OR COLUMNS, REMOVE EXISTING CORNER BEAD, TAPE, SPACKLE AND SAND SMOOTH ALL NECESSARY JOINTS TO A POINT ALONG THE EXISTING WALL SO THAT NEW FINISH IS NOT OBVIOUS.
- ALL WOOD PRODUCTS TO BE FIRE-RATED IF REQUIRED BY GOVERNING BUILDING AUTHORITIES.
- FLOOR SLAB SHALL BE FLASH-PATCHED SMOOTH AS REQUIRED TO ACCEPT NEW FLOOR FINISHES.
- SUSPENDED CEILING TILE GRID, BULKHEAD, ETC. SHALL BE SUSPENDED FROM STRUCTURAL DECK ABOVE ONLY.
- ALL VERTICAL DIMENSIONS TO BE MADE FROM THE HIGHEST POINT OF FLOOR SLAB TO ENSURE PROPER ALIGNMENT OF ALL DOORS, BULKHEADS, ETC.
- LOCATE INSIDE EDGE OF ALL DOOR FRAMES 6 INCHES FROM THE ADJACENT PERPENDICULAR WALL, UNLESS OTHERWISE NOTED, IN ACCORDANCE WITH UFAS AND ADA AT INSIDE CORNERS.
- ALL PENETRATIONS OF FIRE-RATED ASSEMBLIES (FLOORS, WALLS AND/OR CEILINGS) SHALL BE FIRE-STOPPED TO COMPLY WITH APPLICABLE CODES AND IN ACCORDANCE WITH UL STANDARDS.
- WHEN PARTITION ABUTS MULLION, ALIGN PARTITION WITH CENTERLINE OF MULLION, U.O.N. (UNLESS OTHERWISE NOTED).
- DRAWINGS ARE NOT TO BE SCALED - DIMENSIONS GOVERN.
- WHERE DIMENSIONS ARE OMITTED ON DRAWINGS, LOCATE NEW WALLS, PARTITIONS OR OTHER FEATURES IN SELF-EVIDENT POSITIONS (I.E. ALIGNED WITH THE FACE OF EXISTING WALL, PARTITION OR COLUMN, CENTERS ON OPENING, COLUMN, MULLION OR SPACE ETC.)
- COORDINATE PROPOSED NEW WORK WITH EXISTING CONDITIONS TO ESTABLISH THE EXTENT OF DEMOLITION (IF REQUIRED).
- INSTALL NEW FRAMES, DOORS AND HARDWARE IN ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS.
- ALL PARTITIONS, DOORS, HARDWARE AND OTHER CONSTRUCTION ITEMS SHALL BE PROVIDED AS DESCRIBED IN THESE DOCUMENTS AND IN COMBINATION WITH EXISTING BUILDING STANDARD AND GOVERNMENT REQUIREMENTS. ALL HARDWARE SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND PROJECT REQUIREMENTS. SPECIAL HARDWARE TO BE PROVIDED AS NOTED IN THESE DRAWINGS (IF APPLICABLE) U.O.N.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FLOOR AND CEILING FINISHES TO ENSURE THAT JOINTS AND TRANSITIONS BETWEEN MATERIALS, WHETHER THEY BE WALL TO FLOOR, FLOOR TO FLOOR, WALL TO CEILING OR CEILING TO CEILING, WILL BE SQUARE, TRUE, LEVEL AND IN ACCORDANCE WITH DRAWINGS, SPECIFICATIONS AND SCHEDULES.
- CONTRACTOR SHALL VERIFY IN FIELD ALL BASE BUILDING & INTERIOR DIMENSIONS INSIDE LIMIT OF WORK PRIOR TO BEGINNING WITH CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL DRYWALL PARTITIONS SHALL BE DIMENSIONED FROM FINISH FACE OF DRYWALL TO FACE, U.O.N.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS INCLUDING MECHANICAL PRIOR TO DEMOLITION/ CONSTRUCTION NECESSARY TO COMPLETE THE SCOPE OF WORK. CONTRACTOR SHALL COORDINATE ALL MECHANICAL ITEMS WITH MECHANICAL ENGINEERS TO ENSURE SAFE, PROPER INSTALLATION OF CEILING TILE GRIDS, PARTITIONS, MECHANICAL DUCT WORK, ELECTRICAL CONDUITS, ETC.
- PATCH AND PAINT EXIST. WALL WHERE JUNCTION BOX HAS BEEN REMOVED
- PAINT AT EXTERIOR BUILDING WALL AND INTERIOR CORE WALL, BY LESSOR.
- IN ALL USE AREAS THE INTERIOR WALL FINISHES SHALL BE CLASS A, B OR C IN ACCORDANCE WITH TABLE 603.9 AND SHALL ALSO COMPLY WITH NFPA SECTION 10.2. INTERIOR FLOOR SHALL BE IN ACCORDANCE WITH BC 2012 SECTION 804 & NFPA 101 38.3.3.3 & 10.2.7. CARPET SHALL HAVE CLASS 1 FLAME SPREAD

KEY NOTES

- STAINLESS STEEL PANELS TO BE ADHERED TO FIRE-RATED PLYWOOD AND APPLIED TO WALL.
- TRANSITION STRIP TO BE PROVIDED AS REQUIRED. COORDINATE IN FIELD.
- KITCHEN TO HAVE WATER BARRIER UNDER TILE FLOOR. FLOOR TO SLOPE TO FLOOR DRAIN. LOCATION OF DRAIN TO BE COORDINATED IN FIELD.
- REDUCTION STRIP TO BE PROVIDED BETWEEN FLOORING MATERIALS

SYMBOLS

- D = DEMO/ RELOCATED
E = EXISTING TO REMAIN
- EXISTING PARTITION
 - NEW PARTITION
 - NOT IN CONTRACT



1 FINISH PLAN
Scale: 1/8" = 1'-0"

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Drawing Title

FINISH PLAN

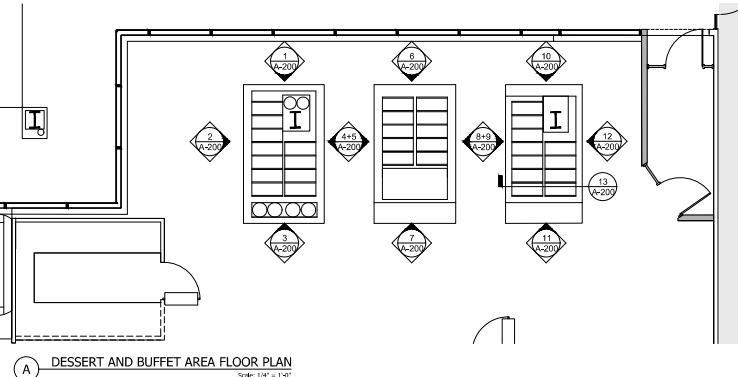
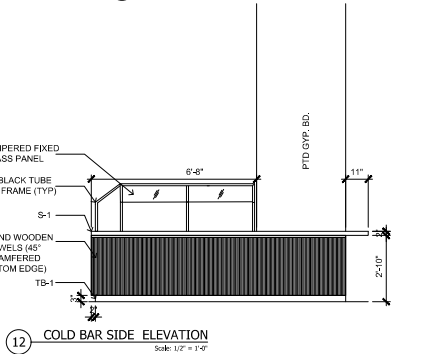
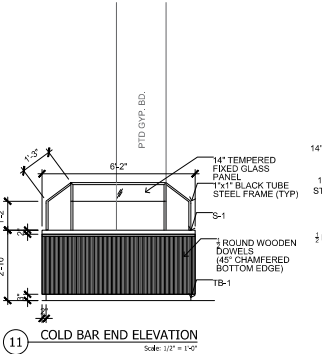
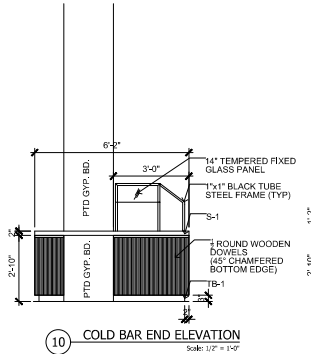
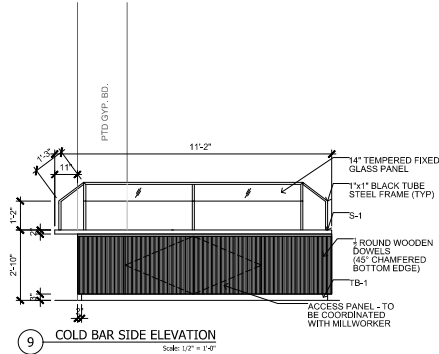
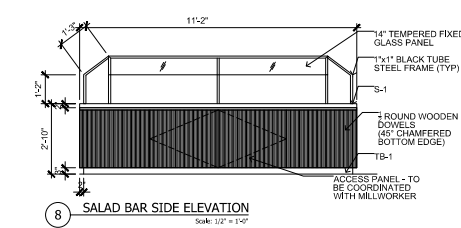
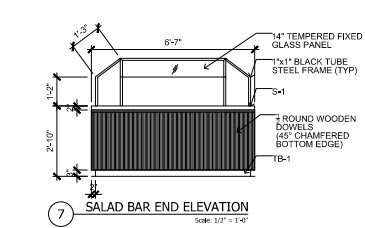
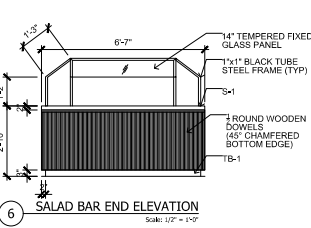
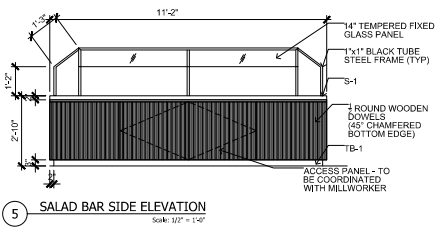
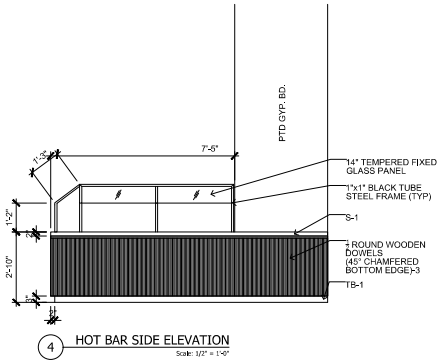
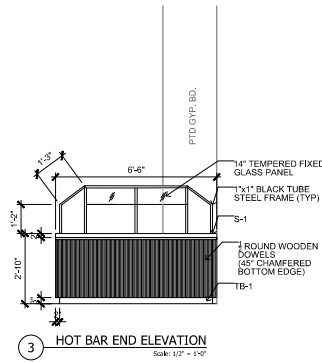
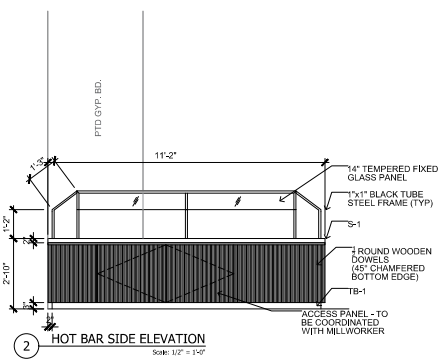
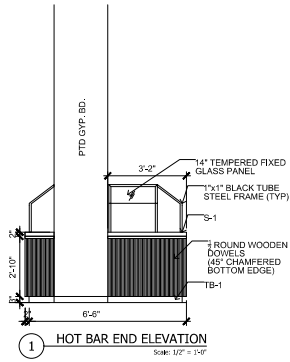
Date	Issue
22 JANUARY 2018	PERMIT
5 MARCH 2018	INTERIOR DESIGN REVIEW
19 JUNE 2018	CITY COMMENTS
19 JANUARY 2019	CLIENT MODIFICATIONS
17 JANUARY 2019	UPDATED SCHEDULES
5 FEBRUARY 2019	UPDATED HOODS

Sheet No.

A103

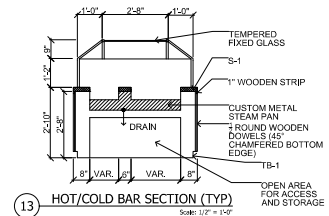
BUFFET AREA ELEVATIONS

*MILLWORKER TO PROVIDE SHOP DRAWINGS FOR REVIEW OF FINAL DESIGN



*MILLWORKER TO COORDINATE WITH INTERIOR DESIGNER FOR FINAL DESIGN

DESSERT		BUFFET	
2	CC OPEN BEVERAGE COOLER	1	LG CUSTOM HOT BUFFET
1	FS FOUNTAIN SODA MACHINE	1	SM CUSTOM HOT BUFFET
1	COFF ESPRESSO MACHINE	1	LG CUSTOM COLD BUFFET
1	DRAFT COFFEE, REG DISPENSER	1	MD CUSTOM COLD BUFFET
1	YOG FROZEN YOGURT MACHINE	3	SOUP KETTLE
POS	POINT OF SALE	1	CANDY DISPLAY
		3	FRINGE DISPLAY
		23	DISPOSABLE PLATES DISPLAY



*MILLWORKER TO PROVIDE SHOP DRAWINGS FOR REVIEW OF FINAL DESIGN

CONSULTANTS

Project

Job No.

Project

Washington DC

Drawing Title

EQUIPMENT ELEVATIONS

Date	Issue
22 JANUARY 2018	PERMIT
5 MARCH 2018	INTERIOR DESIGN REVIEW
19 JUNE 2018	CITY COMMENTS
19 JANUARY 2019	CLIENT MODIFICATIONS
31 JANUARY 2019	UPDATED SCHEDULES
3 FEBRUARY 2019	UPDATED HOODS

Sheet No.

A200

GENERAL NOTES

1. FURNITURE IS NON-POWERED AND TO BE PROVIDED BY OTHERS.
2. FURNITURE IS SHOWN FOR REFERENCE ONLY FOR THE PURPOSES OF DEMONSTRATING INTENDED USES OF SPACE AND OCCUPANT LOAD CALCULATION.

KEY NOTES

Ⓢ NOT USED

NON-POWERED FURNITURE TO BE RECONFIGURED PER CAFE AND EVENT LAYOUTS, AS REQUIRED.

OCCUPANT CALC.
OPTION 1 - CAFE
5.13
8.71
1.82
343.60
+ 2.99
365.25 MIN

72'-4³/₄"

168'-8³/₄"

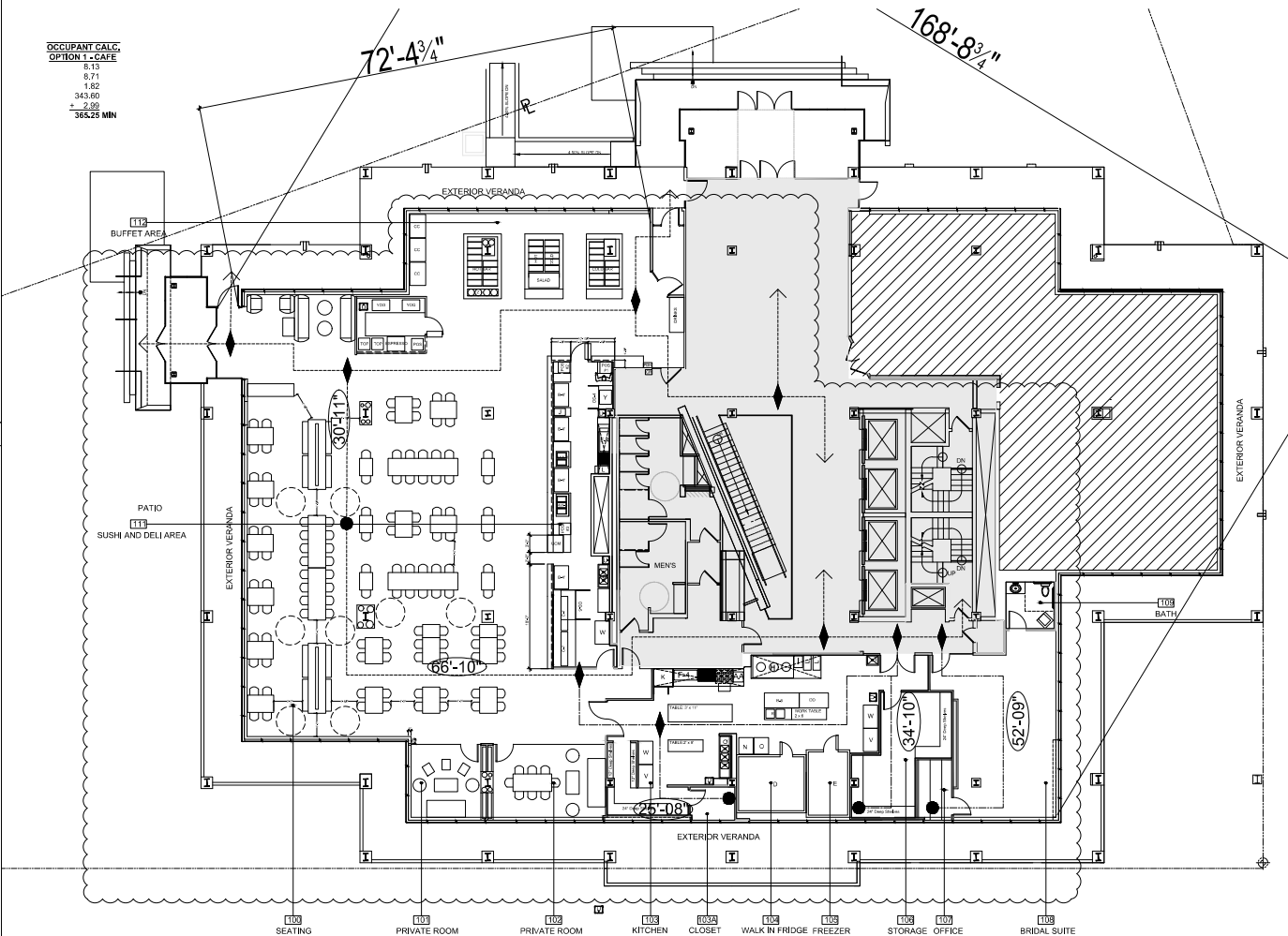
SYMBOLS

D = DEMO/RELOCATED
E = EXISTING TO REMAIN

- EXISTING PARTITION
- NEW PARTITION
- NOT IN CONTRACT

- CAFE/EVENT EGRESS (BASED ON OCCUPANTS)
- KITCHEN EGRESS (BASED ON OCCUPANTS)
- BRIDAL SUITE EGRESS (BASED ON OCCUPANTS)
- DISTANCE TO CHOICE
- POINT OF CHOICE
- START POINT

SEAT COUNT: 170 SEATS 170 OCCUPANTS
REMAINDER OF SPACE: 4,904SF @ 1:100 50 OCCUPANTS
TOTAL OCCUPANT LOAD = 220 OCCUPANTS



1 FURNITURE PLAN-CAFE
Scale: 1/8" = 1'-0"

CONSULTANTS

Project

Job No.

Project

Washington DC

Drawing Title

CAFE FURNITURE PLAN

Date	Issue
22 JANUARY 2018	PERMIT
5 MARCH 2018	INTERIOR DESIGN REVIEW
19 JUNE 2018	CITY COMMENTS
19 JANUARY 2019	CLIENT MODIFICATIONS
17 JANUARY 2019	UPDATED SCHEDULES
5 FEBRUARY 2019	UPDATED HOODS

Sheet No.

A400

GENERAL NOTES

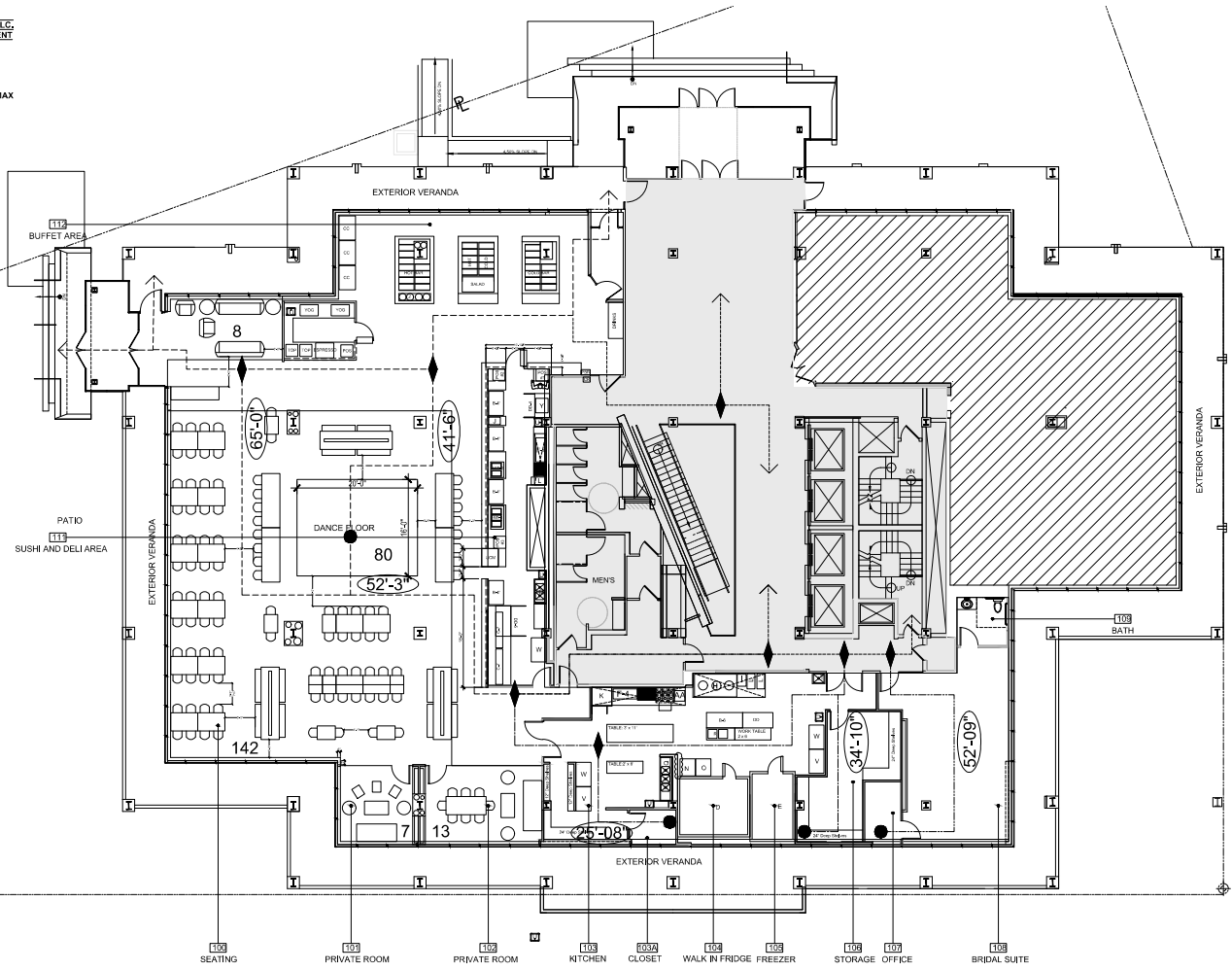
- FURNITURE IS NON-POWERED AND TO BE PROVIDED BY OTHERS.
- FURNITURE IS SHOWN FOR REFERENCE ONLY FOR THE PURPOSES OF DEMONSTRATING INTENDED USES OF SPACE AND OCCUPANT LOAD CALCULATION.

KEY NOTES

- ① NOT USED

NON-POWERED FURNITURE TO BE RECONFIGURED PER CAFE OR EVENT LAYOUTS, AS REQUIRED.

OCCUPANT CALC. OPTION 2 - EVENT
 6.13
 6.71
 6.82
 396.90
 + 2.96
418.55 MAX



SYMBOLS

D = DEMO/RELOCATED
 E = EXISTING TO REMAIN

- EXISTING PARTITION
- NEW PARTITION
- NOT IN CONTRACT

- CAFE/EVENT EGRESS (SEAT PER 100 OCCUPANTS)
- KITCHEN EGRESS (PER 100 OCCUPANTS)
- BRIDAL SUITE EGRESS (PER 100 OCCUPANTS)
- DISTANCE TO CHOICE
- POINT OF CHOICE
- START POINT

SEAT COUNT:
 170 SEATS 170 OCCUPANTS
DANCE FLOOR:
 400SF @ 1.5 80 OCCUPANTS
REMAINDER OF SPACE:
 4,904SF @ 1-100 50 OCCUPANTS
TOTAL OCCUPANT LOAD = 300 OCCUPANTS

① FURNITURE PLAN - EVENT
 Scale: 1/8" = 1'-0"

CONSULTANTS

Project

Job No.

Project

Washington DC

Drawing Title

EVENT FURNITURE PLAN

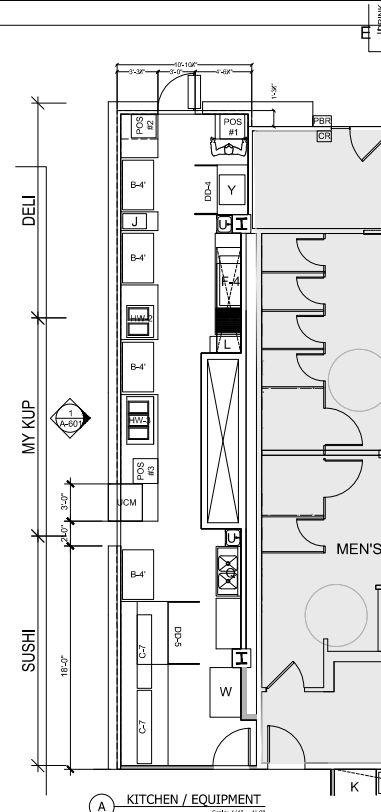
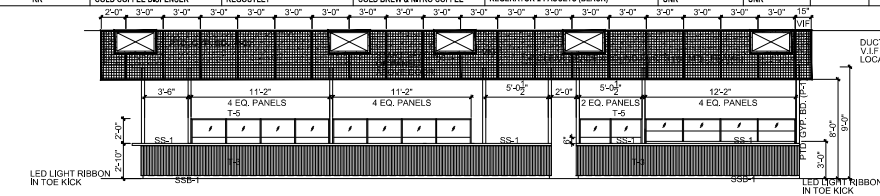
Date	Issue
22 JANUARY 2018	PERMIT
5 MARCH 2018	INTERIOR DESIGN REVIEW
19 JUNE 2018	CITY COMMENTS
19 JANUARY 2019	CLIENT MODIFICATIONS
15 JANUARY 2019	UPDATED SCHEDULES
5 FEBRUARY 2019	UPDATED HOODS

Sheet No.

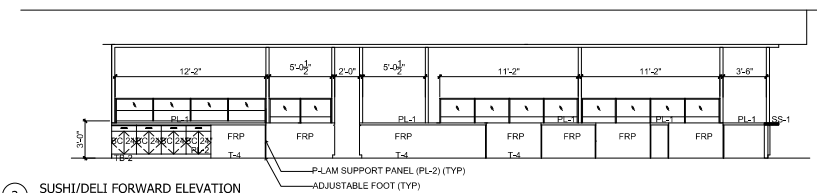
A401

KITCHEN EQUIPMENT

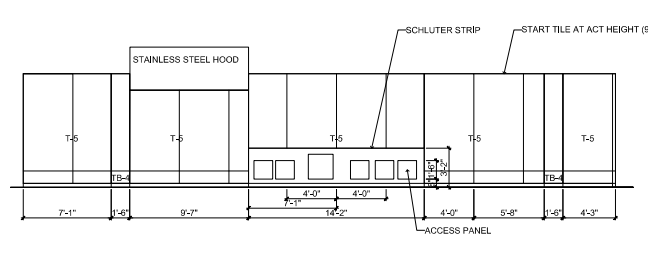
DESIGNATION	DESCRIPTION	MANUFACTURER	MODEL	REMARKS	VOLTAGE	PLUG	DRAIN	GAS
A	UNDERCOUNTER REFRIGERATOR	TRUE	TUC484HC		115 0/01	NEMA-5-15P	NONE	
B-4	SANDWICH SALAD UNITS	TST	TST48SSD		115 0/01	NEMA-5-15P	NONE	
B-5	SANDWICH SALAD UNITS	TST	TST40SSD		115 0/01	NEMA-5-15P	NONE	
B-6	8" MEGA TOP	TST	TST72SD-30		115 0/01	NEMA-5-15P	NONE	
C-6	REFRIGERATED SUSHI CASE	HOSHIZAKI-HNC SERIES	HNC-150BAAL-SL		115 0/01		1" Drain	
C-7	REFRIGERATED SUSHI CASE	HOSHIZAKI-HNC SERIES	HNC-180BAAL-SL		115 0/01		1" Drain	
D	WALK-IN COOLER	WORLDLINE	TBD	COLD LOCKER WALK-IN, W FLOOR	220 50/1		NONE	
E	WALK-IN FREEZER	KOLPAK	PF4124FT	20L-PAK WITH FLOOR	208/230 60/1		NONE	
F-3	GRIDDLE	VULCAN	VCRG36M	VCRGM SERIES				2" Line
F-4	GRIDDLE	VULCAN	VCRG48M	VCRGM SERIES				2" Line
G	STOVE	SOUTHBEND	S36A	8 BURNERS, CONVECTION OVEN				2" Line
H	STOVE	AMERICAN RANGE	ARC63	CHEESE RANGE				2" Line
I	STOCK BURNER	VULCAN	VSR100	VSP SERIES				
J	TOASTER	HATCO	TQ 800H 28QS	TOAST-O-MK ELECTRIC CONVEYOR TOASTER	208 0/01	NEMA-5-20P		
K	CONVECTION OVEN	VULCAN	VC44GC	DOUBLE DECK GAS CONVECTION OVENS	120 0/01			2" Line
L	FRYER	VULCAN	LS400	LS SERIES				2" Line
M-2	CHARBROILER	SOUTHBEND	HDC-24	RADIANT COUNTERTOP				2" Line
M-3	CHARBROILER	SOUTHBEND	HDC-36	RADIANT COUNTERTOP				2" Line
N	ICE CUBE MACHINE	MANITOWOC	BD-1106A on B-370	INDIGO SERIES 1106	208-230/60/1			
O	FLAKE ICE MACHINE	MANITOWOC	RF3 on B-370	RFS-1200A	208-230/60/1			
P	ICE STORAGE BIN	MANITOWOC	B-370					
Q	3-COMPARTMENTED SINK	ADVANCE TABCO	FE-31620-1BRXL	FE SERIES				
R	3-COMPARTMENTED SINK	ADVANCE TABCO	FC-31616-1B					
S	4-COMPARTMENTED SINK	ADVANCE TABCO	TBD					
T	FLOOR MOP SINK	ADVANCE TABCO	SCM-28	STANDARD				YES
U	HANDSINK	ADVANCE TABCO	1-PSE-68P					YES
V	REACH-IN FREEZER	TRUE	T49H4HC		115 0/01	NEMA-5-15P		
W	REACH-IN REFRIGERATOR	TRUE	T494HC		115 0/01	NEMA-5-15P		
Y	SLICER	VOLLRATH	SL3038S	ITEM #40955	120 0/01	NEMA-5-15R		
Z	SOUP KETTLE	APW	APW W/str CWK-1		120 0/01			
AA	DOUBLE STACKED RICE COOKER			GAS				
BB-5	WOK-TWO CHAMBER	TOWN FOOD SERVICES	1-2-SS	875431				
CC	OPEN CASE-NARROW	EDS-N						GAS
DD	U/LC FREEZER	TURBOCAR	MUF-64H M3 SERIES- 60"	902MUF60N	115 0/01	NEMA-5-15P		
DD-3	U/LC FREEZER	TURBOCAR	MUF-364H M3 SERIES- 36"		115 0/01	NEMA-5-15P		
DD-4	U/LC FREEZER 4-0"	TBD			TBD			
DD-5	U/LC FREEZER 5-1"	TBD			TBD			
HH-2	2 COMPARTMENT HOT WELL	DELFIELD	NH714D	ITEM # 355N8731D	115 0/01			
HH-4	4 COMPARTMENT HOT WELL	DELFIELD	NH754D	ITEM # 355N8759D	115 0/01			
POS	POINT OF SALE							
EE	ICE AND SODA FOUNTAIN SYSTEM	SODA DISPENSER DEPOT	S-F LAVOR, REMANUFACTURED	ITEM # 10400113	UNK	UNK	YES	
FF	DISHWASHER	CMA	CMA-180V/L	91633.00	208-240v/1	UNK	YES	
GG	SOFT SERVE FREEZER	TAYLOR	C71	226-240V/1 (UNK)	UNK	UNK	YES	
HH	ESPRESSO MACHINE	LAVAZZA	LB 4712	408 / 240 V	UNK	UNK	YES	
KK	COLD COFFEE DISPENSER	KEGOUTLET	COLD BREW & NITRO COFFEE	KEGATOR-2 FAUCETS (BLACK)	UNK	UNK	YES	



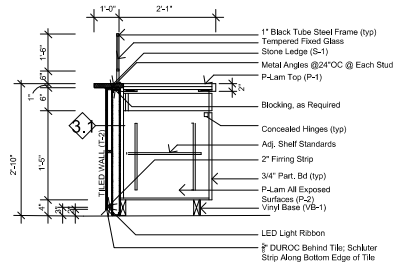
1 SERVING COUNTER ELEVATION
Scale: 1/4" = 1'-0"



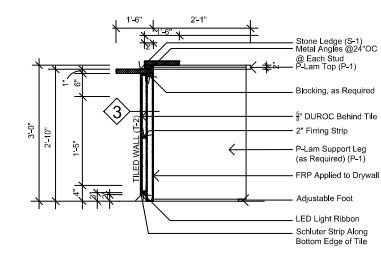
2 SUSHI/DELI FORWARD ELEVATION
Scale: 1/4" = 1'-0"



3 SUSHI/DELI REAR WALL ELEVATION
Scale: 1/4" = 1'-0"



B SERVING COUNTER SECTION
not to scale



C SERVING COUNTER SECTION (SUSHI AREA)
not to scale

CONSULTANTS

Project

Job No.

Project

Washington DC

Drawing Title

KITCHEN EQUIPMENT

Date	Issue
22 JANUARY 2018	PERMIT
5 MARCH 2018	INTERIOR DESIGN REVIEW
19 JUNE 2018	CITY COMMENTS
19 JANUARY 2019	CLIENT MODIFICATIONS
31 JANUARY 2019	UPDATED SCHEDULES
04 FEBRUARY 2019	CREATING WOODS

Sheet No.

A601

TARGET

I was part of the team that developed floor plans for new Target stores and renovated and remodeled existing Target locations. Target uses a web-based file-sharing system to connect consultants from across the country and ensure every component is integrated seamlessly. The image on the opposite page is from a proposed Target in the historic Kauffmann's building in Philadelphia, PA. Much of the original interior details were still intact and we were able to uncover and restore them and incorporate them into the new design. The rendering was made using Lumion and Photoshop.



FIRE MARSHAL'S OFFICE

This is a design-build project in a historic building on Fort Belvoir in VA. I was the designer and project manager, and as such I coordinated with the owner, the contractor, the design team, the end user, and vendors. I attended regular meetings, answered RFIs, and participated in the construction management. I conducted the initial field survey and used the data I collected to create an accurate, detailed Revit model that was used to create the CDs.

BUILDING 191

FORT BELVOIR, VA.

FIRE MARSHAL'S OFFICE

ALTER & REPAIR

ISSUE FOR CONSTRUCTION



REGISTRATION NO. 40913105
 ARCHITECT
 GREGORY & CHISUM
 1400 N. 10TH ST.
 ARLINGTON, VA 22201
 A Squared Trips
 Engineering Support
 Group, LLC
 PROJECT NO. 19081-00
 PROJECT NAME: FIRE MARSHAL'S OFFICE ALTER & REPAIR
 PROJECT LOCATION: BUILDING 191, WEST STREET, FORT BELVOIR, VA.

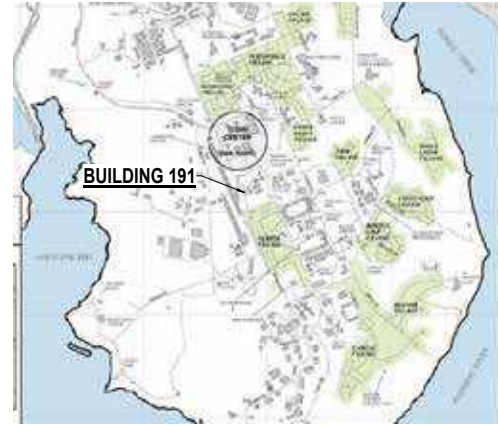


Date: 02/06/2020 Rev:
 Drawn by: CJK
 Checked by: JCC
 Project Number: 19081-00
 Drawing Number: 19081-00
 Submitted by:

COVER SHEET

ALTERATION & REPAIR
 FIRE MARSHAL'S OFFICE
 BUILDING 191, WEST STREET, FORT BELVOIR, VA.

Sheet Reference Number:
 CS-001
 Sheet 1 of 38



LOCATION MAP
NO SCALE



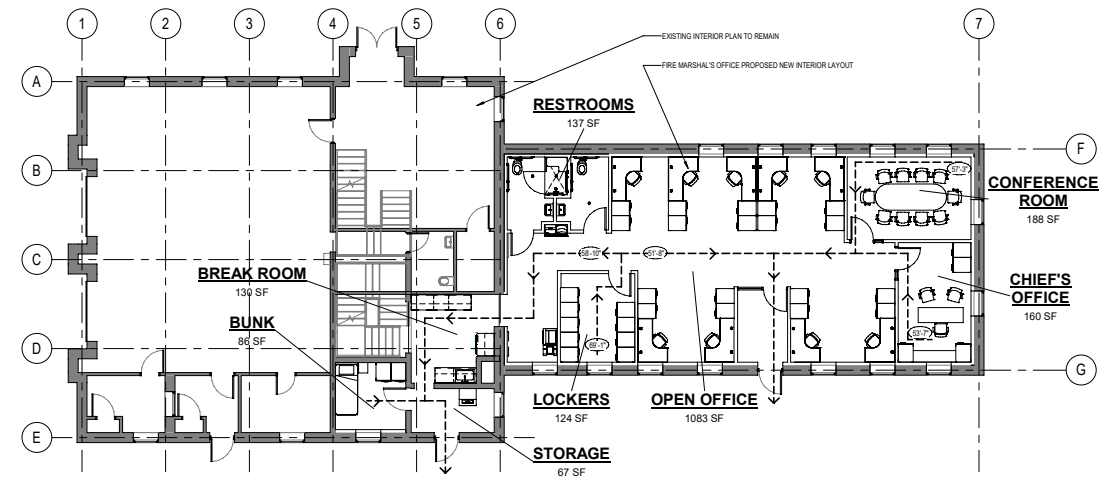
VICINITY MAP
NO SCALE

DRAWING LIST

SHEET #	SHEET NAME	ISSUE DATE	CURRENT REV	CURRENT REV DATE
ARCHITECTURAL DRAWINGS				
1	CS-001 COVER SHEET	11/11/19	4	02/06/20
2	CS-002 ABBREVIATIONS, SYMBOLS, CODES, & EGRESS PLAN	11/25/19	3	02/06/20
3	A-1.0 FLOOR PLANS - EXISTING	11/11/19	4	02/06/20
4	A-1.1 REFLECTED CEILING PLANS - EXISTING	11/25/19	3	02/06/20
5	A-1.2 FLOOR PLANS - DEMOLITION	11/11/19	4	02/06/20
6	A-1.3 REFLECTED CEILING PLANS - DEMOLITION	11/25/19	3	02/06/20
7	A-1.4 FLOOR PLANS - PROPOSED	11/11/19	4	02/06/20
8	A-1.5 ENLARGED REFLECTED CEILING PLAN - PROPOSED	11/11/19	4	02/06/20
9	A-1.6 REFLECTED CEILING PLANS - PROPOSED - FULL BUILDING	11/25/19	3	02/06/20
10	A-1.7 FURNITURE PLAN	11/25/19	3	02/06/20
11	A-1.8 FINISHES PLAN	11/25/19	3	02/06/20
12	A-4.0 RESTROOM PLANS & ELEVATIONS	11/11/19	4	02/06/20
13	A-4.1 ADA & ANSI DETAILS	11/25/19	3	02/06/20
14	A-6.0 PARTITION SCHEDULES & DETAILS	11/25/19	4	02/06/20
15	A-6.1 SCHEDULES & DETAILS	11/11/19	3	02/06/20
MECHANICAL DRAWINGS				
16	MD-1.1 MECHANICAL DEMOLITION	11/25/19	3	02/06/20
17	MD-1.2 MECHANICAL DEMOLITION PLANS	11/25/19	3	02/06/20
18	M-1.0 GENERAL NOTES	11/25/19	3	02/06/20
19	M-1.1 BASEMENT PART PLAN - MECHANICAL	11/25/19	3	02/06/20
20	M-1.2 FIRST FLOOR PART PLAN - HVAC	11/25/19	3	02/06/20
21	M-1.3 FIRST FLOOR PART PLAN - PLUMBING	11/25/19	3	02/06/20
22	M-1.4 SECOND FLOOR PLAN - MECHANICAL	11/25/19	3	02/06/20
23	M-1.5 ATTIC PLAN - MECHANICAL	11/25/19	3	02/06/20
24	M-1.6 FLOOR PLANS - FIRE PROTECTION	11/25/19	3	02/06/20
25	M-2.1 RISER DIAGRAMS	11/25/19	3	02/06/20
26	M-3.1 DETAILS	11/25/19	3	02/06/20
27	M-3.2 DETAILS	11/25/19	3	02/06/20
28	M-4.1 SCHEDULES	11/25/19	3	02/06/20
29	M-5.1 LEGEND & ABBREVIATIONS	11/25/19	3	02/06/20
ELECTRICAL DRAWINGS				
30	ED-1.1 ELECTRICAL DEMOLITION	11/25/19	3	02/06/20
31	ED-1.2 ELECTRICAL DEMOLITION PLANS	11/25/19	3	02/06/20
32	E-1.0 NOTES, LEGENDS, ABBREVIATIONS	11/25/19	3	02/06/20
33	E-1.1 LIGHTING PLANS	11/25/19	3	02/06/20
34	E-1.2 POWER PLANS	11/25/19	3	02/06/20
35	E-1.3 SPECIAL SYSTEMS PLANS	11/25/19	3	02/06/20
36	E-2.1 ELECTRICAL DIAGRAMS	11/25/19	3	02/06/20
37	E-3.1 DETAILS	11/25/19	3	02/06/20
38	E-4.1 ELECTRICAL SCHEDULES	11/25/19	3	02/06/20

- Jurisdiction - Fort Belvoir, VA
- Applicable Codes
 - 2015 International Building Code
 - 2015 International Energy Conservation Code
 - 2015 International Mechanical Code
 - 2015 National Standard Plumbing Code
 - 2014 National Electrical Code w/ Local Amendments (NFPA 70)
 - 2015 National Fuel Gas Code Private sewage disposal - chapter 16 & 17 AA County Plumbing Code, 1990
 - 2009 - Accessible and useable Buildings and Facilities - ICC at 117.1
 - 2013 NFPA 13 Fire Protection
 - 2013 NFPA 72 National Fire Alarm Code
 - 2015 NFPA 101 Life Safety Code
 - 2015 NFPA 1 Fire Prevention Code
 - UFGS 23.0923 Lowvoltage DDC for HVAC
 - FEMP 2012
 - UFC 1-200-01
 - ABA Accessibility Standards for DOD Facilities
- Building Use and Occupancy (IBC 302.1)
 - A. Non-Separated Mixed-Uses
 - B. Business
- Type of Construction: IIB, Sprinklered (IBC 602.2)
- Means of Egress
 - A. Allowances per occupant (IBC Table 1004.1.2) (SE/LOC)
 - Assembly 150 sqf
 - Business 100 sqf
 - Storage 300 sqf
 - B. Number of exits per occupant load (IBC Table 1021.2); 2 MIN
 - C. Exit access travel distance with sprinkler system (IBC Table 1017.2 / NFPA 101)
 - B 300 feet
 - D. Dead-end corridor for Groups B, (IBC 1020.4); 50 feet maximum
 - E. Minimum Ceiling Height (IBC 1003.2); 7'-4"
 - F. Minimum Headroom of Protruding Objects (1003.3.1); 6'-8"
 - G. Egress Width (inches/occupant); NFPA 101) 0.2 / .03
 - H. Minimum clear width (IBC 1020.2); 44"
 - I. Egress through intervening spaces shall comply with IBC 1016.2
 - J. Common Path of Egress Travel without sprinkler system (IBC Table 1006.2.1)
 - B 100 feet
- Fire Resistance of Elements for Type IIB (IBC Table 601)

Required	Provided
A. Primary Structural Frame	0 hr
B. Bearing Walls	0 hr
Exterior	0 hr
Interior	0 hr
C. Nonbearing Walls and Partitions	See Table 602
Exterior	0 hr
Interior	0 hr
D. Floor Construction and Secondary Members	0 hr
E. Roof Construction and Secondary Members	0 hr



1) BUILDING OCCUPANCY & EGRESS PLAN
1/8" = 1'-0"

NOTE: FOR REFERENCE ONLY. FREE PROVIDED BY OTHERS

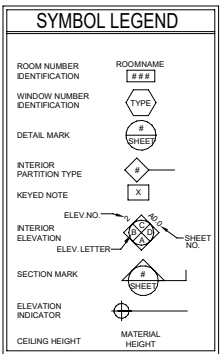
- Fire resistance rating of exterior walls for Groups B, R, S-2, Type IIB (IBC Table 602):

Fire Separation Dist (feet)	Fire Resistance Rating Required (hr)	Provided
0-4	1	NA
5-9	1	NA
10-29	0	NA
30+	0	0
- Interior Finish and Trim, Sprinklered (IBC Table 803.9):

Group	Exit Stairways, Ramps, Staircases	Corridors, Exit Access	Rooms of Enclosed Spaces
B	Class B	Class C	Class C
R-2	Class C	Class C	Class C
S	Class C	Class C	Class C

Interior Floor Finish (IBC 804.4.2): Class II
Interior Trim (IBC 806.5): Class C
Interior Wall Base (IBC 806.6): Class I
- Combustible Materials permitted (IBC 603.1):
 - Fire-retardant-treated wood
 - non-bearing partitions of fire resistance rating < 2 hours
 - non-bearing non-rated exterior walls
 - roof construction
 - Acoustical insulation of flame spread index of not more than 25
- Corridor Serving less than 30 B or S occupants - Not Rated - Table 1018.1.
- Fire protection systems shall comply with 2010 NFPA 13.
- Fire Extinguishers shall be provided in occupancies and locations as required by 2012 NFPA 1.
 - a. Locate extinguisher within 30 feet of commercial cooking equipment.
 - b. Maximum Floor Area per Extinguisher: 11,250 sq ft
 - c. Maximum Travel Distance to Extinguisher: 75 feet
- All building materials and construction methods shall be in accordance with all applicable codes including OSHA.

#	OCCUPANCY CLASSIFICATION	AREA NAME	Area	SF/PERSON (Table 1004.1.1)	OCCUPANT LOAD	EGRESS DISTANCE
1	BUSINESS	OPEN OFFICE	1083 SF	100	11	51'-8" TO VESTIBULE EXIT; 58'-10" TO STORAGE EXT
2	BUSINESS	CHIEF'S OFFICE	160 SF	100	15	25'-7" TO VESTIBULE EXIT
3	BUSINESS	CONFERENCE ROOM	188 SF	15	15	57'-3" TO VESTIBULE EXIT
4	BUSINESS	LOCKERS	124 SF	100	12	29'-1" TO VESTIBULE EXIT
5	ASSEMBLY	BREAK ROOM	139 SF	15	15	34'-7" TO STORAGE EXT
6	STORAGE	STOCK SHIPPING	67 SF	100	1	19'-8" TO STORAGE EXT
7	UNOCCUPIED	BUNK	86 SF	100	1	20'-2" TO STORAGE EXT
8	UNOCCUPIED	RESTROOMS	137 SF	100	1	25'-8" TO VESTIBULE EXIT; 58'-10" TO STORAGE EXT
9	UNOCCUPIED	STORAGE	1975 SF	100	41	



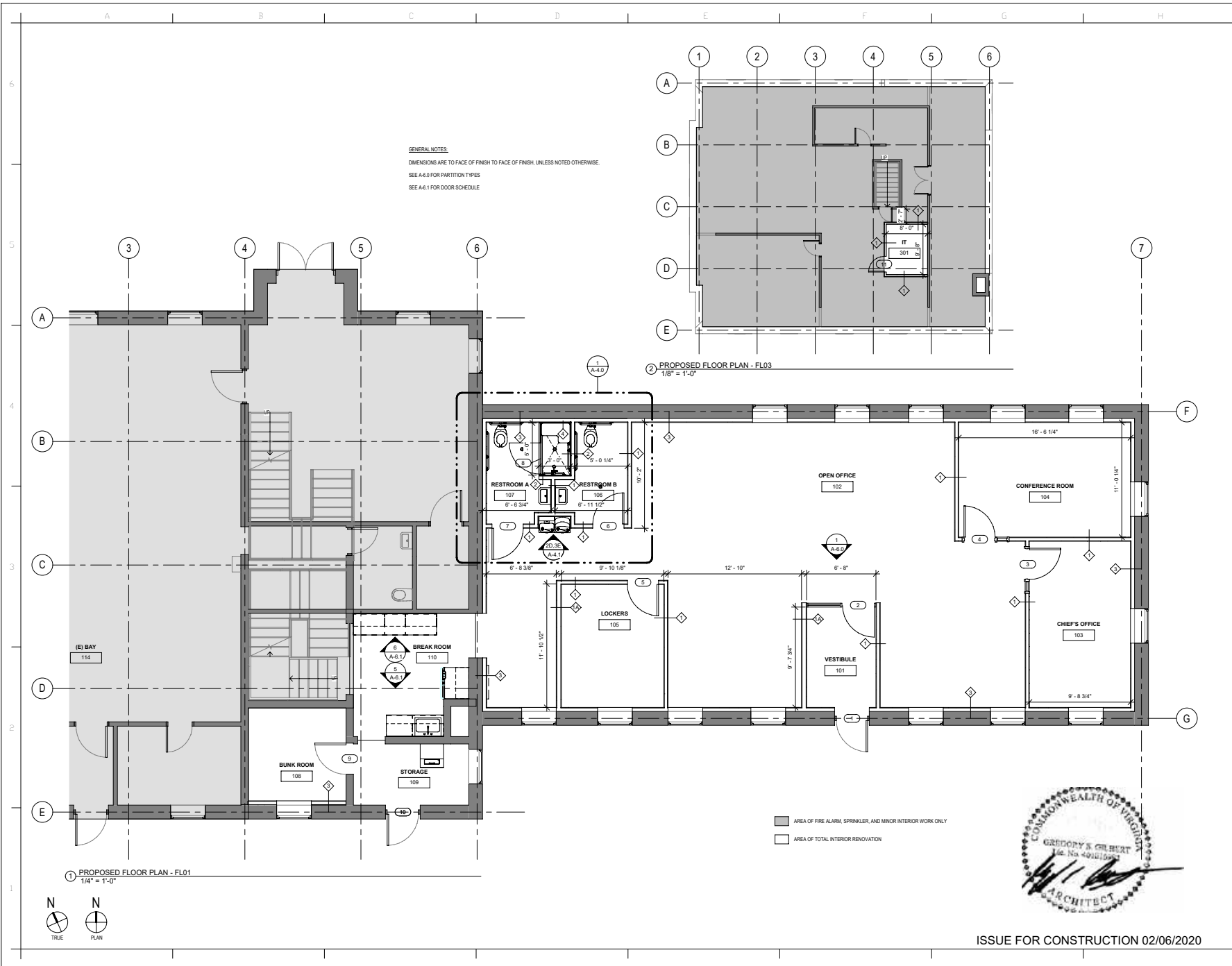
ABOV	ABOVE	BSMT	BASEMENT	DBL	DOUBLE	EXT	EXTERIOR	H	HIGH	MATL	MATERIAL	PASS	PASSSENGER	S	SOUTH	TT	TOP OF
AC	AIR CONDITIONER	CAB	CABINET	DEG	DEGREE	FAB	FABRICATE	HW	HOLLOW	MAX	MAXIMUM	PERF	PERFORATED	SAPC	SUSPENDED ACOUSTICAL PANEL CEILING	TB	TOP AND BOTTOM
ACST	ACCESSION	CAP	CAPACITY	DEPT	DEPARTMENT	FBD	FIBERBOARD	HM	HOLLOW METAL	MB	MARKER BOARD	PL	PLATE	SCHED	SCHEDULE	TB	TACK BOARD
ADJ	ADJACENT	CBK	CHALK BOARD	DET	DETAIL	FD	FLOOR DRAIN	HM	HOLLOW METAL DOOR	MCH	MECHANICAL	PASTER	PASTER	SOC	SOCIAL	TOT	TOP OF FACE OF
ADJG	ADJACENT FINISHED FLOOR	CDR	COLING DOOR	DGL	DIAGONAL	FDN	FOUNDATION	HORIZ	HORIZONTAL	MEMB	MEMBRANE	PLBG	PLUMBING	SEC	SECTION	TAN	TANGENT
AGGR	AGGREGATE	CEM	CERAMIC	FR	FIRE RESISTANT	FE	FIRE EXTINGUISHER	HRT	HIGH POINT	MEZ	MEZZANINE	PAINT	PAINT	SP	SPACING FOOTAGE	STR	STRUCTURAL GLAZED FACING TILE
AL	ALUMINUM	CL	CAST IRON PIPE	DIV	DIVISION	FEC	FIRE EXTINGUISHER CABINET	HTR	HEATER	MGR	MANAGER	PCRC	POPCELAIN	SH	SHOWER	TEMP	TEMPORARY
ALPH	ALUMINUM ALLOY ROOF SHINGLES	CLD	CLOSET	DR	DOOR	FIR	FIRE RESISTANT	HVAC	HEATING, VENTILATING, & AIR CONDITIONING	MAN	MANUFACTOR	PAR	PAPER	SIM	SECURITY HOLLOW METAL	TEMP	TEMPERATURE
ARCH	ARCHITECTURAL	CJ	CONTROL JOINT	DMPF	DAMP PROOFING	FIN	FINISH	ID	IDENTIFIER	MLT	MILITARY	PREFAB	PREFABRICATED	SH	SHIRT	THRU	THROUGH
ASB	ASBESTOS	CR	CERAMIC TILE	DN	DOWN	FL	FLOORING	HS	HIGH POINT	MDO	MOLDING	PROJ	PROJECT	INT	INTERNATIONAL SYSTEM OF UNITS	TR	TRIM
ASPH	ASPHALT	CLG	CELLING	DPN	DEMOUNTABLE PARTITION MANUFACTURE	FLX	FLEXIBLE	INSUL	INSULATION	MLP	METAL LATH AND PLASTER	PSP	POUND PER SQUARE FOOT	SIM	SIMILAR	TRTD	TREATED
ASPHR	ASPHALT ROOF SHINGLES	CLD	CLOSET	DR	DOOR	FLG	FLOOR	INTR	INTERIOR	MD	MASSARY DRYWALL	NSI	NOISE INSULATION	SKL	SKYLIGHT	STR	STRIP
ASSN	ASSOCIATION	CLD	CLOSET	DR	DOOR	FLG	FLOOR	INTR	INTERIOR	MD	MASSARY DRYWALL	NSI	NOISE INSULATION	SKL	SKYLIGHT	STR	STRIP
ASST	ASSISTANT	CMU	CONCRETE UNIT INSULATED UNIT	DW	DISHWASHER	PP	FIRE PROOF	JST	JOIST	MTG	MOUNTING	PDT	PAINTED	SMLS	SEAMLESS	UNCL	UNLESS NOTED OTHERWISE
ASBY	ASSEMBLY	CMU	CONCRETE MASONRY UNIT	DWG	DRAWING	PP	FIRE PROOF	JST	JOIST	MTG	MOUNTING	PDT	PAINTED	SMLS	SEAMLESS	UNCL	UNLESS NOTED OTHERWISE
AVE	AVENUE	CNCL	CONCRETE	E	EAST	FT	FOOT	LAB	LABORATORY	N	NOT APPLICABLE	PVC	POLYVINYL CHLORIDE	SPKR	SPEAKER	UNT	UNITS
AVR	AVERAGE	CO	CORNER	EQ	EQUAL	FT	FOOT	LAB	LABORATORY	N	NOT APPLICABLE	PVC	POLYVINYL CHLORIDE	SPKR	SPEAKER	UNT	UNITS
B	BOTTOM	CO	COMPANY	EEN	EMERGENCY GENERATOR	EQ	EQUAL	FT	FOOT	LAV	LABORATORY	N	NOT APPLICABLE	PVC	POLYVINYL CHLORIDE	SPKR	SPEAKER
BAL	BALCONY	COL	COLLUMN	ER	EXHAUST FAN	GA	GAUGE	LG	LENGTH	NRC	NOISE REDUCTION COEFFICIENT	R	RIBSK	SETT	STOREFRONT	W	WEST
BD	BOARD	COMP	COMPOSITION	ELEV	ELEVATION	GALV	GALVANIZED	TS	TYPICAL	MO	MOTOR OPERATED DAMPER	ROD	ROOF DRAIN	TRV	THERMOSTAT	W	WEST
BETW	BETWEEN	CONC	CONCRETE	ELEC	ELECTRICAL	GAR	GARAGE	LIB	LIBRARY	DA	OVERALL	REFR	REFRIGERATOR	STL	STEEL	W	WEST
BIG	BUILDING	CONTR	CONSTRUCTION	ENTR	ENTRANCE	GEN	GENERATOR	LN	LINEAR	CC	ON CENTER	REINF	REINFORCED	STR	STRORAGE	W	WEST
BLKG	BLOCKING	CONT	CONTINUOUS	EQ	EQUAL	LN	LINEAR	LAB	LABORATORY	N	NOT APPLICABLE	PVC	POLYVINYL CHLORIDE	SPKR	SPEAKER	UNT	UNITS
BLR	BOLTER	CONTR	CONTRACTOR	EQ	EQUIPMENT	LEV	ELEVATION	LN	LINEAR	OD	OUTSIDE DIAMETER	REQU	REQUIRED	STRUC	STRUCTURE/STRUCTURAL	WB	WHITE BOARD
BM	BENCH MARK	CRV	CURVED	EQ	EQUIPMENT	LEV	ELEVATION	LN	LINEAR	OD	OUTSIDE DIAMETER	REQU	REQUIRED	STRUC	STRUCTURE/STRUCTURAL	WB	WHITE BOARD
BM	BENCH MARK	CRV	CURVED	EQ	EQUIPMENT	LEV	ELEVATION	LN	LINEAR	OD	OUTSIDE DIAMETER	REQU	REQUIRED	STRUC	STRUCTURE/STRUCTURAL	WB	WHITE BOARD
BP	BASE PLATE	CRK	CORNER	EQUIP	EQUIPMENT	LEV	ELEVATION	LN	LINEAR	OD	OUTSIDE DIAMETER	REQU	REQUIRED	STRUC	STRUCTURE/STRUCTURAL	WB	WHITE BOARD
BRD	BUILDING	CONTR	CONSTRUCTION	ENTR	ENTRANCE	GEN	GENERATOR	LN	LINEAR	CC	ON CENTER	REINF	REINFORCED	STR	STRORAGE	W	WEST
BRDG	BUILDING	CONTR	CONSTRUCTION	ENTR	ENTRANCE	GEN	GENERATOR	LN	LINEAR	CC	ON CENTER	REINF	REINFORCED	STR	STRORAGE	W	WEST
BRG	BRACING	CRK	CORNER	EQUIP	EQUIPMENT	LEV	ELEVATION	LN	LINEAR	OD	OUTSIDE DIAMETER	REQU	REQUIRED	STRUC	STRUCTURE/STRUCTURAL	WB	WHITE BOARD
BS	BOTH SIDES	D	DEPTH	EXP	EXPANSION	GVL	GRAVEL	LWP	LIGHT WEIGHT CONCRETE	OSB	ORIENTED STRAND BOARD	RM	ROOM	SUSP	SUSPENDED/SUSPENSION	WTR	WATER HEATER

Gregory S. Gilbert
Architect
No. 49101064
State of Virginia

Designed by: A.D. Chik
Drawn by: B. Co. Inc.
Reviewed by: B. Co. Inc.
Bent Project Number: 1901.001

ALTERATION & REPAIR
FIRE MARSHAL'S OFFICE
SOUTHERN ADDITIONAL APPROVAL
FIRE FORT BELVOIR, VA 22061-1911

Sheet Reference Number
CS-002
Sheet 2 of 38



GENERAL NOTES:
 DIMENSIONS ARE TO FACE OF FINISH, UNLESS NOTED OTHERWISE.
 SEE A4.0 FOR PARTITION TYPES
 SEE A4.1 FOR DOOR SCHEDULE

2) PROPOSED FLOOR PLAN - FL03
 1/8" = 1'-0"

1) PROPOSED FLOOR PLAN - FL01
 1/4" = 1'-0"



■ AREA OF FIRE ALARM, SPRINKLER, AND MINOR INTERIOR WORK ONLY
 □ AREA OF TOTAL INTERIOR RENOVATION



ISSUE FOR CONSTRUCTION 02/06/2020

	Date: 02/06/2020 Rev: 02/06/2020	Description: BUNK ROOM, VESTIBULE, CONFERENCE ROOM, CHIEF'S OFFICE, RESTROOMS, LOCKERS, STORAGE, BAY	Scale: 1/4" = 1'-0"
	Drawn by: A.D. Checked by: C.H.	Project Name: BUNK ROOM, VESTIBULE, CONFERENCE ROOM, CHIEF'S OFFICE, RESTROOMS, LOCKERS, STORAGE, BAY	Date: 02/06/2020
	Submitted by: [Signature] Reviewed by: [Signature]	Project Number: BWH-1901.00	Date: 02/06/2020
	Prepared by: [Signature]	Project Location: A Squareset Plus Engineering Support Group, LLC Services: Inc, Annapolis, MD ARCHITECTS P.C., ANNAPOLIS, MD.	Date: 02/06/2020



FLOOR PLANS - PROPOSED

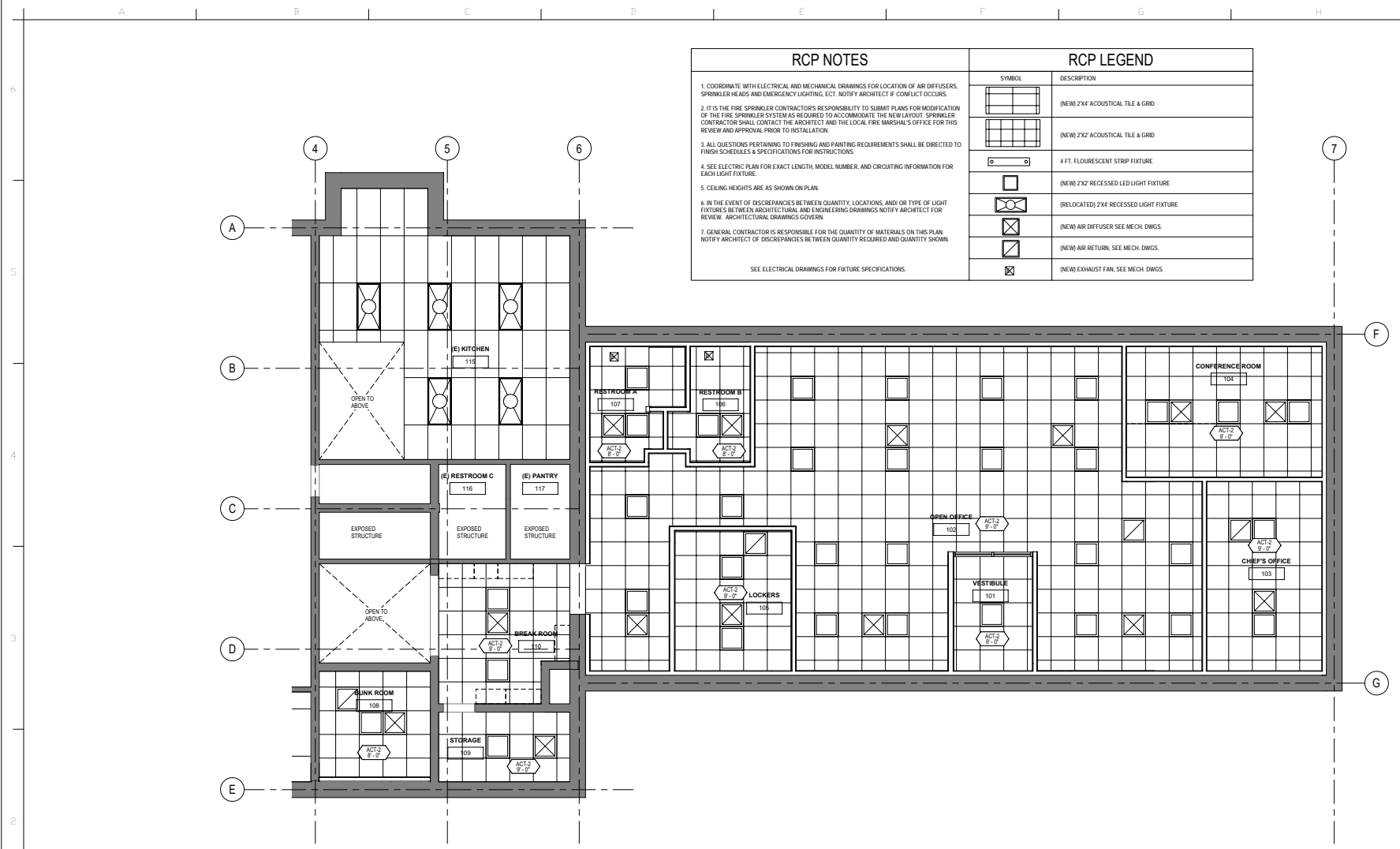
Designed by: A.D.
 Drawn by: C.H.
 Checked by: [Signature]
 Submitted by: [Signature]
 Reviewed by: [Signature]

Project Number: BWH-1901.00

**ALTERATION & REPAIR
 FIRE MARSHAL'S OFFICE**

SOUTHERN ADDITIONAL RENOVATION
 FIRE DEPT OF W.V. BLDG 191
 FORT BELVOIR, W.V. 26029

Sheet Reference Number:
A-1.4
 Sheet 7 of 38



RCP NOTES

- COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR LOCATION OF AIR DIFFUSERS, SPRINKLER HEADS AND EMERGENCY LIGHTING, ECT. NOTIFY ARCHITECT IF CONFLICT OCCURS.
- IT IS THE FIRE SPRINKLER CONTRACTOR'S RESPONSIBILITY TO SUBMIT PLANS FOR MODIFICATION OF THE FIRE SPRINKLER SYSTEM AS REQUIRED TO ACCOMMODATE THE NEW LAYOUT. SPRINKLER CONTRACTOR SHALL CONTACT THE ARCHITECT AND THE LOCAL FIRE MARSHAL'S OFFICE FOR THIS REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- ALL QUESTIONS PERTAINING TO FINISHING AND PAINTING REQUIREMENTS SHALL BE DIRECTED TO FINISH SCHEDULES & SPECIFICATIONS FOR INSTRUCTIONS.
- SEE ELECTRIC PLAN FOR EXACT LENGTH, MODEL NUMBER, AND CIRCUITING INFORMATION FOR EACH LIGHT FIXTURE.
- CEILING HEIGHTS ARE AS SHOWN ON PLAN.
- IN THE EVENT OF DISCREPANCIES BETWEEN QUANTITY, LOCATIONS, AND/OR TYPE OF LIGHT FIXTURES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS NOTIFY ARCHITECT FOR REVIEW. ARCHITECTURAL DRAWINGS GOVERN.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR THE QUANTITY OF MATERIALS ON THIS PLAN. NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN QUANTITY REQUIRED AND QUANTITY SHOWN.

SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS.

RCP LEGEND

SYMBOL	DESCRIPTION
	(NEW) 2'x4' ACOUSTICAL TILE & GRID
	(NEW) 2'x2' ACOUSTICAL TILE & GRID
	4' FT. FLUORESCENT STRIP FIXTURE
	(NEW) 2'x2' RECESSED LED LIGHT FIXTURE
	(RELOCATED) 2'x4' RECESSED LIGHT FIXTURE
	(NEW) AIR DIFFUSER SEE MECH. DWGS.
	(NEW) AIR RETURN, SEE MECH. DWGS.
	(NEW) EXHAUST FAN, SEE MECH. DWGS.

① ENLARGED PROPOSED RCP - AREA OF TOTAL INTERIOR RENOVATION
1/4" = 1'-0"



ISSUE FOR CONSTRUCTION 02/06/2020



DATE	DESCRIPTION	BY	CHK'D	APP'D	DATE

Prestige Development
 1500 W. MAIN ST., SUITE 100
 ANNAPOLIS, MD 21403
 (410) 291-1100
 www.prestigedevelopment.com

BLENKINSOP WINKLES CASPER
 ARCHITECTS P.C., ANNAPOLIS, MD
 A Squiggle Plus
 Engineering Support
 Group, LLC

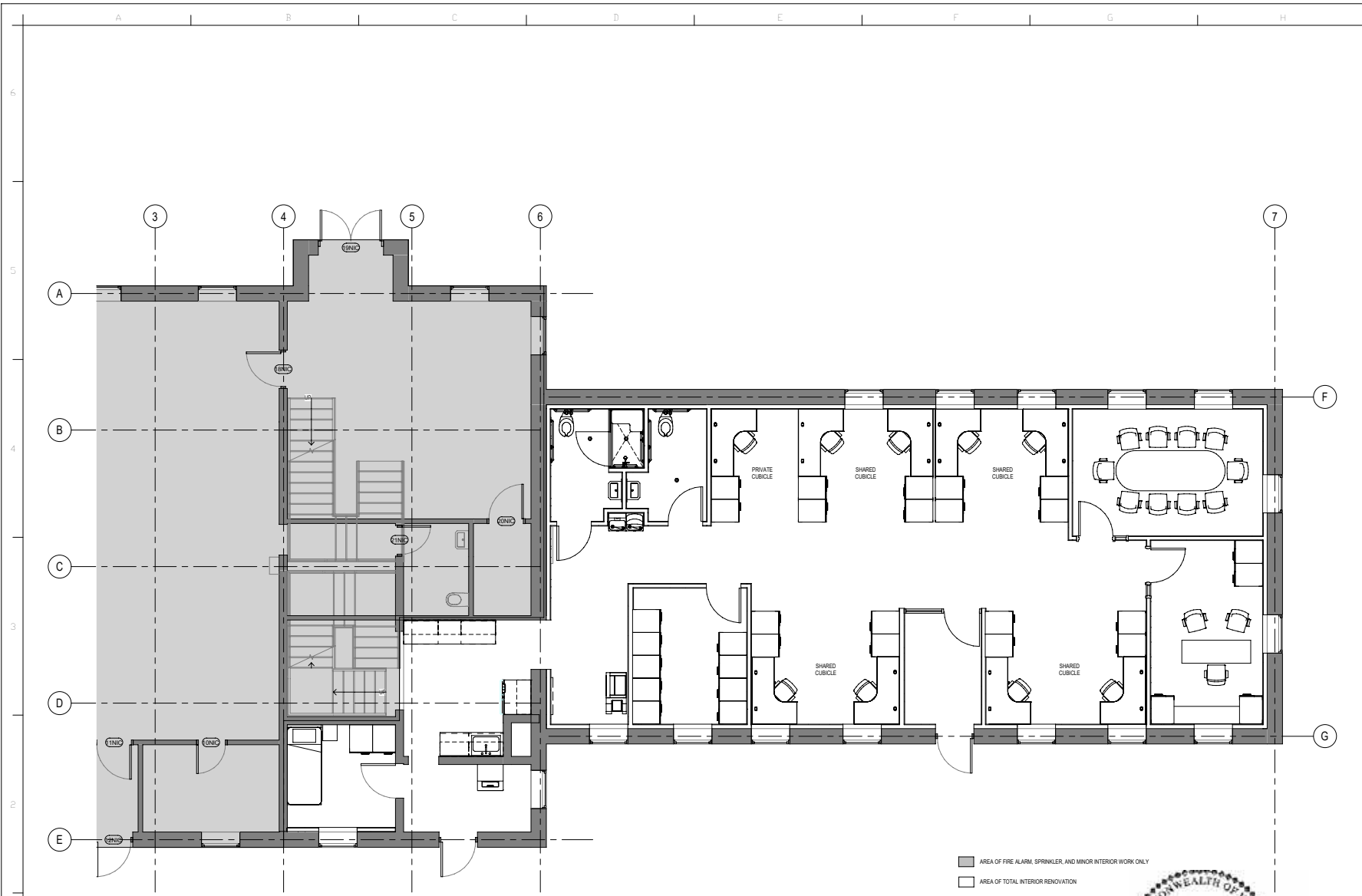


Designed by: A.D.	Date: 02/06/2020	Rev:
Drawn by: B.C.C.		
Reviewed by:	Discipline Number	
Submitted by:	BWH Project Number: 1901.109	

ENLARGED
REFLECTED
CEILING PLAN -
PROPOSED

ALTERATION & REPAIR
FIRE MARSHAL'S OFFICE
SOUTHERN ADDITION ALT. RENOVATION
OF FORT BELVOIR, VA 22060
FORT BELVOIR, VA 22060

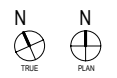
Sheet Reference Number:
A-1.5
Sheet 8 of 38



■ AREA OF FIRE ALARM, SPRINKLER, AND MINOR INTERIOR WORK ONLY
 □ AREA OF TOTAL INTERIOR RENOVATION

1 FURNITURE PLAN
 1/4" = 1'-0"

NOTE: FOR REFERENCE ONLY. ALL FURNITURE PROVIDED BY OTHERS.



ISSUE FOR CONSTRUCTION 02/06/2020



DATE	DESCRIPTION	BY	CHK'D	APP'D
02/06/2020	ISSUE FOR CONSTRUCTION			
	DESIGN			
	PERMITTING			
	CONSTRUCTION			

Prestige Development
 BLENKINSOP WINN CASSELL
 ARCHITECTS P.C., ANNAPOLIS, MD.
 Engineering Support Group, LLC



Designed by: A.D.	Date: 02/06/2020	Rev:
Drawn by: J.P.C.	Project Number: 1901.00	
Reviewed by:		
Submitted by:		

FURNITURE PLAN

ALTERATION & REPAIR
FIRE MARSHAL'S OFFICE
 SOUTHERN ADDITIONAL RENOVATION
 FIRE MARSHAL'S OFFICE
 FORT BELVOIR, ANNEAPOLIS

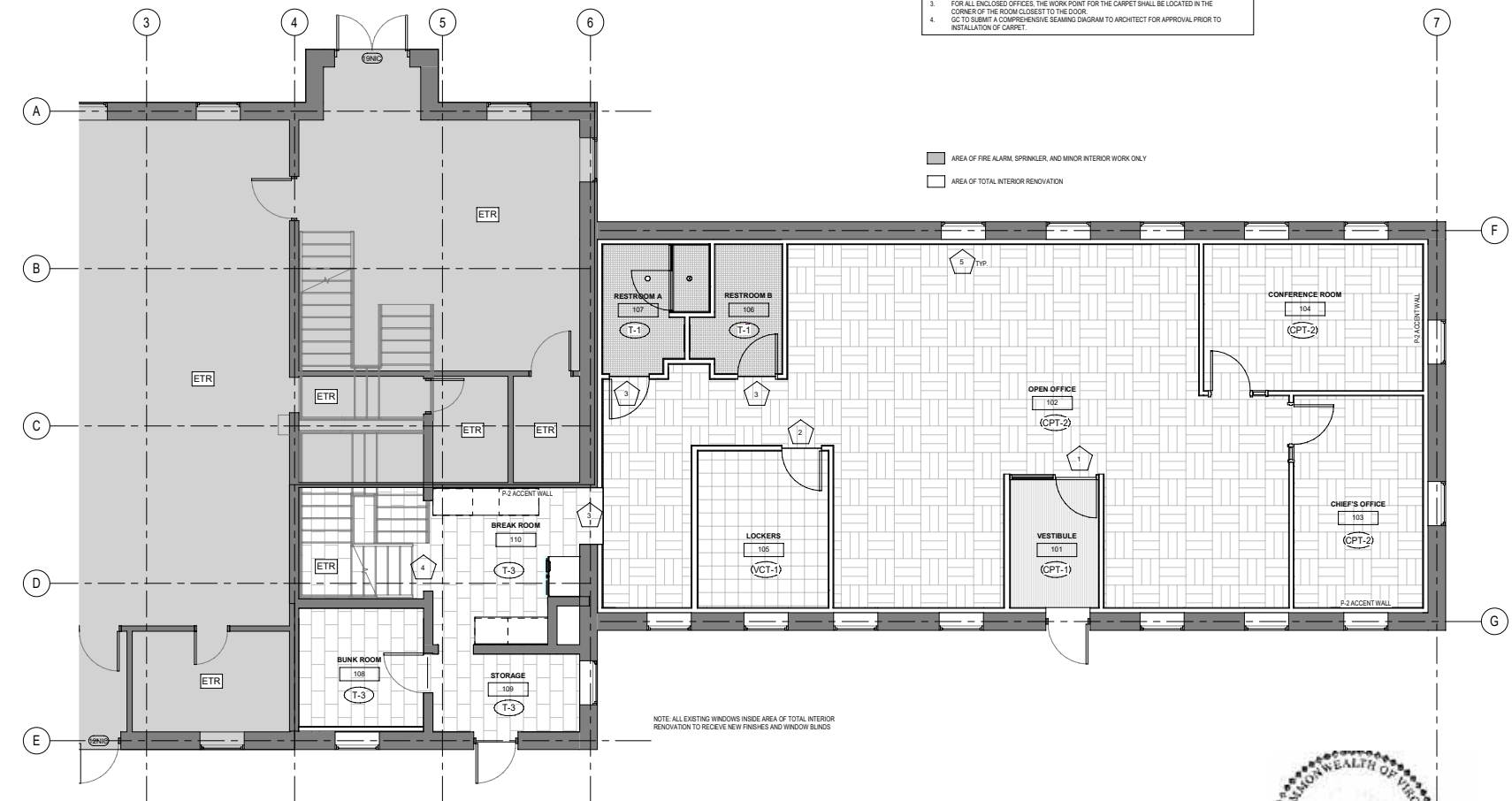
Sheet Reference Number:
A-1.7
 Sheet 10 of 38

FINISH PLAN KEY NOTES	
NOTE #	DESCRIPTION
1	SEE TRANSITION DETAIL 2 / A-6.1
2	SEE TRANSITION DETAIL 3 / A-6.1
3	SEE TRANSITION DETAIL 4 / A-6.1
4	CONTINUE FLOOR TILE (T-3) AND BASE (TB-1) UNDER STAIRS
5	ALL EXISTING WINDOWS INSIDE AREA OF TOTAL INTERIOR RENOVATION TO RECEIVE NEW PAINT (P-4) AND NEW BLINDS.

FLOOR FINISH LEGEND			
CARPET TILE (CPT)		CERAMIC TILE (T)	
CARPET TILE (CPT)		CERAMIC TILE (T)	
ETR		VINYL COMPOSITE TILE (VCT)	

GENERAL NOTES:
 1. SEE A-6.1 FOR THRESHOLD & TRANSITION DETAILS.
 2. FLOOR MATCHES AT CARPET & TILE ARE FOR ILLUSTRATIVE PURPOSES ONLY. SEE FINISH LEGEND A-6.1 FOR INSTALLATION PATTERNS.
 3. FOR ALL ENCLOSED OFFICES, THE WORK POINT FOR THE CARPET SHALL BE LOCATED IN THE CORNER OF THE ROOM CLOSEST TO THE DOOR.
 4. GC TO SUBMIT A COMPREHENSIVE SEAMING DIAGRAM TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF CARPET.

AREA OF FIRE ALARM, SPRINKLER, AND MINOR INTERIOR WORK ONLY
 AREA OF TOTAL INTERIOR RENOVATION



NOTE: ALL EXISTING WINDOWS INSIDE AREA OF TOTAL INTERIOR RENOVATION TO RECEIVE NEW FINISHES AND WINDOW BLINDS

1 FINISHES PLAN
 1/4" = 1'-0"

N
 TRUE
 PLAN



ISSUE FOR CONSTRUCTION 02/06/2020

Project: P1801.00
 Drawing Number: 1801.00
 Date: 02/06/2020
 Prepared by: A.D.
 Drawn by: B.P.C.
 Reviewed by: B.P.C.
 Submitted by: B.P.C.

Plastige Development
 Services, Inc. Annapolis, MD ARCHITECTS P.C., ANNAPOLIS, MD.

A Squared Plus
 Engineering Support
 Group, LLC



ALTERATION & REPAIR
 FIRE MARSHAL'S OFFICE

SOUTHERN ADDITIONAL RENOVATION
 FIRE MARSHAL'S OFFICE
 FORT BELVOIR, VA 22060

Sheet Reference Number:
 A-1.8

Sheet 11 of 38

TENANT FIT-OUTS

I have nearly five years of experience doing tenant fit-outs in both AutoCAD and Revit. I have worked on tenants of varying sizes, from very small spaces to full-floor 87,000sf tenants. I have experience with a variety of different project types from offices, SCIFs, nail salons, franchises, outpatient medical facilities, retail, and restaurants. Red Lattice was a SCIF and office space tenant fit-out developed using AutoCAD.

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWING AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT AND THE OWNER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN SMALL SCALE PLANS.
- ALL WORK SHALL CONFORM TO STATE AND LOCAL BUILDING CODES, FIRE, HEALTH, WSSC, ETC.
- ALL PARTITIONS ARE DIMENSIONED TO OUTSIDE SURFACE, UNLESS OTHERWISE NOTED (U.O.N.).
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE BRACING AND BLOCKING OF WALLS RECEIVING MILLWORK, SHELVING, ETC.
- WHERE A VINYL BASE IS SPECIFIED, SET ABOVE CARPET.
- ALL FLOORS SHALL BE LEVELED AND FREE OF IRREGULARITIES TO ASSURE ONE CONSTANT FLOOR HEIGHT SO THAT DOOR BUICKS, WHEN SET, ARE AT CONSISTENT DIMENSIONS FROM THE CEILING, WITH NO GAPS BETWEEN THE BOTTOM OF THE DOOR BUICK AT THE SLAB AFTER CARPETING AND OTHER FLOOR FINISHES ARE INSTALLED. ANY UNAVOIDABLE CHANGES IN THE FLOOR HEIGHT SHALL BE GRADUALLY RAISED AND TROWELED TO CREATE A RAMP-LIKE EFFECT. ALL DEPRESSIONS, CRACKS, SCREEDS, AND EXPANSION JOINTS ARE TO BE FILLED WITH A GOOD GRADE NON-CRUMBLING LATEX BASE FLASHING COMPOUND, WATER PUTTY OR CRACK FILLER.
- ALL WALL DUPLEX, TELEPHONE AND SWITCH BOXES ARE TO BE CAULKED AS PER BUILDING STANDARD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING WITH TENANT/OWNER REPRESENTATIVE FOR PARKING REGULATIONS, LOADING REGULATIONS AND ROOF ACCESS AS WELL AS ALL SCHEDULING FOR ACCESS TO TENANT'S SPACES.
- FOR INFORMATION ON COLUMNS, EXTERIOR WALLS, CORE AREA, ETC.: SEE BASE BUILDING ARCHITECTURAL DRAWINGS, SHELL AND CORE DRAWINGS.
- ALL WORK IS TO CONFORM WITH OWNER'S DRAWINGS AND SPECIFICATIONS.
- ALL CONTRACTORS ARE RESPONSIBLE FOR LAYING OUT EQUIPMENT RUNS TO INTERFERENCES.
- IF THE LIGHT FIXTURES OR OTHER ELEMENTS ON OR ABOVE THE CEILING CANNOT BE LOCATED AS PER THE PLANS, THIS MUST BE NOTED BEFORE BIDDING SO REVISIONS MAY BE MADE AND INCLUDED IN BIDS.
- DOORS AND FRAMES WHICH REQUIRE A FIRE RESISTANT RATING SHALL BE A TYPE APPROVED BY THE NATIONAL BOARD OF FIRE UNDERWRITERS.
- AFTER THE JOB IS IN PROGRESS, "ADDENDUMS" OR "CHANGE ORDERS" MUST BE APPROVED IN WRITING BY THE OWNER AND/OR ARCHITECT.
- EXIT AND DIRECTIONAL SIGNS AND LIGHTS SHALL COMPLY WITH STATE AND LOCAL CODES. SEE REFLECTED CEILING PLANS.
- PERFORMANCE OF ALL WALL AIR HANDLING UNITS SHALL BE CHECKED AND ANY PROBLEMS SHALL BE REPAIRED TO A LIKE NEW CONDITION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING OF PARTITION WALLS AS REQUIRED AND AT ALL DOOR OPENINGS.
- DRYWALL CONTROL JOINTS SHALL BE PROVIDED IN ACCORDANCE WITH RECOMMENDED PRACTICES OF THE U.S. GYPSUM ASSN.
- ALL MISCELLANEOUS BLOCKING IS TO BE FIRE-RETARDANT.
- CONTRACTOR TO FINISH ALL FLOORS NOT RECEIVING NEW CARPET.
- ALL ANGLES SHOWN ARE 45 DEGREES, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARILY PERMITS.
- CONTRACTOR MAY SUBSTITUTE MATERIALS AND/OR CONSTRUCTION UPON SUBMISSION TO AND APPROVAL BY THE ARCHITECT.
- DIMENSIONS NOTED "HOLD" MAY NOT BE ADJUSTED WITHOUT APPROVAL BY THE ARCHITECT.
- ISOLATE DISSIMILAR METALS IN CONTACT WITH EACH OTHER.
- ALL DOORS, DOOR FRAMES, AND SHELVING SHALL BE FINISHED WITH SEMI-GLOSS ENAMEL. ALL OTHER SURFACES ARE TO BE FLAT PAIN UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FURNISH AND INSTALL FIRE EXTINGUISHERS, FIRE DAMPERS, AND SMOKE DETECTORS AS REQUIRED BY THE FIRE MARSHALL AND LOCAL CODES.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF FIRE PULL BOXES, FIRE BELLS, EXIT SIGNS, ETC. AS REQUIRED BY LOCAL CODES.
- CONTRACTOR SHALL SCHEDULE AND PERFORM ALL WORK SO AS NOT TO REASONABLY DISTURB ANY TENANT IN THE BUILDING AND SHALL BE RESPONSIBLE FOR ANY OVERTIME COSTS INCURRED THEREBY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS AND REFUSE AND CLEANING OF ALL INTERIOR GLASS SURFACES.
- UPON COMPLETION OF THE WORK, CONTRACTOR SHALL NOTIFY THE ARCHITECT TO COMPILE A PUNCH-LIST OF CORRECTIONS.
- ALL EXISTING LIGHT FIXTURES ARE TO BE RE-USED - AS PER PLANS.
- CONTRACTOR SHALL REPLACE ALL EXISTING EXIT EMERGENCY LIGHTS IN LOCATIONS AS SHOWN AFTER NEW CEILING AND NEW WALL FINISHES ARE INSTALLED.
- CONTRACTOR SHALL RESTORE EXISTING FINISHES AND SURFACES AS AFFECTED BY NEW CONSTRUCTION.
- ELECTRICAL CONTRACTOR SHALL CIRCUIT RECEPTACLES TO AVAILABLE SPARES IN EXISTING PANEL BOX.
- ELECTRICAL CONTRACTOR SHALL CAP OFF ALL UNUSED EXISTING WIRING.
- CONTRACTOR TO PROVIDE LOCKABLE TENANT SPACE DURING NON-WORK HOURS.
- MAINTENANCE MATERIALS: DELIVER USABLE SCRAPS OF CARPET, UNUSED REMOVED DOORS AND ANY OTHER REUSABLE MATERIALS TO THE OWNER'S DESIGNATED STORAGE AREA.

SCOPE OF WORK

OUT FITTING THE EXISTING SPACE FOR A NEW TENANT BUILD OUT, INCORPORATING NEW WALLS AND REMODELING THE EXISTING WALLS, IMPLEMENTING NEW PANTRY, ENHANCING ELECTRICAL SYSTEM AND CONSTRUCTING HIGH SECURITY FEATURES, NEW CEILING GRID AND LIGHTING, ALL NEW FINISHES, SPRINKLER SYSTEM PER NEW LAYOUT. FURNITURE IS SHOWN FOR REFERENCE ONLY. NO POWERED SYSTEMS.

FLAME SPREAD IBC 2012 TABLE 803.9 FOR SPRINKLERED BUILDING

ALL FINISHES SHALL COMPLY WITH THE FLAME SPREAD INDEX AND SMOKE DEVELOPMENT INDEX VALUES OBTAINED BY THE ASTM E 84 TEST.
WALL AND CEILING FINISHES SHALL BE:
CLASS C: 76 - 200 FLAME SPREAD INDEX / 0 - 450 SMOKE DEVELOPED INDEX

BASED ON THE ACCEPTED CLASSIFICATION SYSTEM DESCRIBED IN THE NATIONAL FIRE PROTECTION ASSOCIATION PUBLICATION NFPA 101 LIFE SAFETY CODE.

PROJECT INFORMATION

PROJECT DESCRIPTION: NEW TENANT (FIT-OUT)
PROJECT LOCATION:
APPLICABLE CODES: VCC (IBC) 2012, NFPA 101-2012, IMC 2012, IPC 2012, CASO/ANSI A117.1-2010
USE GROUP: 8-BUSINESS
OCCUPANCY: SEE OCCUPANCY CALCULATION
CONSTRUCTION TYPE: 2-B
BUILDING HEIGHT: 7'
HIGH RISE: NO (5 FLOORS)
NO. OF STORIES IN PROJECT: 1
PROPOSED PROJECT SQFT: 11,764 sqft
CEILING: 9'-0"
SPRINKLER SYSTEM IN BLDG: YES
FIRE ALARM SYSTEM IN BLDG: YES
FLOOR UNDER CONSTRUCTION: 4TH FLOOR




PLUMBING FIXTURE CALCULATION

WATER CLOSETS		LAVATORIES	
FIRST 50	1 PER 25	FIRST 80	1 PER 40
REMAINDER	1 PER 50	REMAINDER	1 PER 80
REQUIRED	8	REQUIRED	6
PROVIDED	8	PROVIDED	6

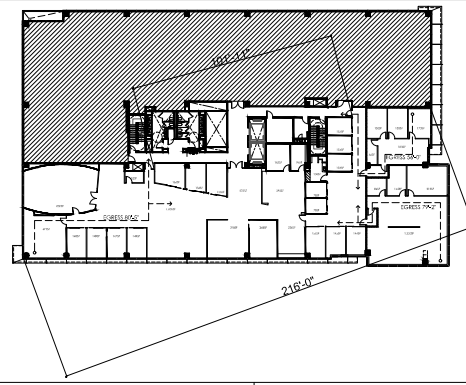
OCCUPANT LOAD

AREA OF WORK - 11,764 sqft

1:100 (General Office Area)	11,059.1 sqft / 100	=	110.6 Occupants
1:50 (Locker Room)	76.2 sqft / 50	=	1.5 Occupants
1:15 (Reception/Pantry)	561.3 sqft / 15	=	37.4 Occupants
TOTAL		=	150 Occupants

 calculated at 1:100
 calculated at 1:50
 calculated at 1:15

SITE PLAN SITE PLAN IS SHOWN FOR REFERENCE ONLY; NOT TO SCALE.



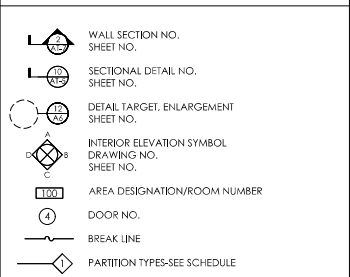
PROJECT DIRECTORY

OWNER
ARCHITECT
MECHANICAL ELECTRICAL PLUMBING
CONTRACTOR

DRAWING INDEX

- ARCHITECTURAL**
- CS COVER SHEET
 - D-1 DEMO FLOOR PLAN
 - D-2 DEMO REFLECTED CEILING PLAN
 - AT-1 FLOOR PLAN
 - AT-1-F FURNITURE PLAN
 - AT-2 REFLECTED CEILING PLAN
 - AT-3 POWER PLAN
 - AT-4 FINISH PLAN
 - AT-5 DETAILS
 - AT-6 SCHEDULES
 - AT-7 SECTIONS AND ELEVATIONS
- MEP**
- E001 ELECTRICAL COVER SHEET
 - E002 LIGHTING FLOOR PLAN
 - E003 POWER FLOOR PLAN
 - E004 RISER DIAGRAM NOTES AND SCHEDULES
- FA01 FIRE ALARM FLOOR PLAN**
- M001 MECHANICAL NOTES AND SYMBOLS LIST
 - M002 MECHANICAL FLOOR PLAN - DEMOLITION
 - M003 MECHANICAL FLOOR PLAN - NEW WORK
 - M004 MECHANICAL SCHEDULES
 - M005 MECHANICAL DETAILS
 - M006 MECHANICAL DETAILS
- P001 PLUMBING COVER SHEET**
P002 PLUMBING FLOOR PLAN

SYMBOLS



Notes Consultants

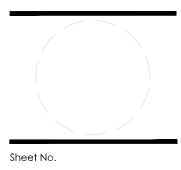
Drawn By _____
Checked By _____
Job No. _____
Project _____

CHANTILLY, VA 20151

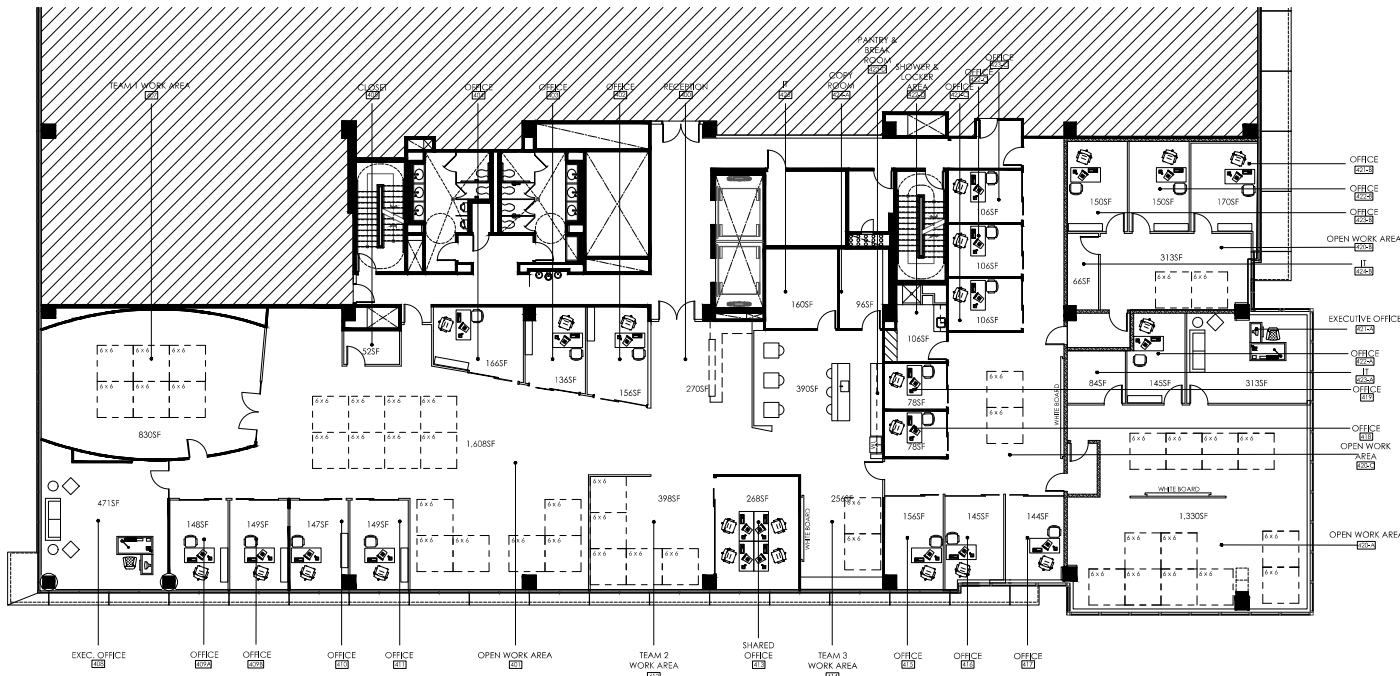
Drawing Title

COVER SHEET

Date	Issue
29 NOV 2017	PERMIT
5 FEB 2018	COUNTY COMMENTS
22 FEB 2018	COUNTY COMMENTS
7 MAR 2018	COUNTY COMMENTS



Sheet No. CS



1 FURNITURE PLAN
Scale: 1/8" = 1'-0"

SYMBOLS	
	EXISTING PARTITION TO REMAIN
	NEW PARTITION
	NIC

SEAT COUNT	
Open Work Areas and Offices 11,059 sqft	= 66 Seats
Pantry 140-144 sqft	= 4 Seats
TOTAL	70 Seats

GENERAL NOTE:
FURNITURE SHOWN FOR REFERENCE ONLY;
NOT INCLUDED IN CONTRACT.

Notes Consultants

Drawn By _____
 Chkd By _____
 Job No. _____
 Project _____

CHANTILLY, VA 20151

Drawing Title
FURNITURE PLAN

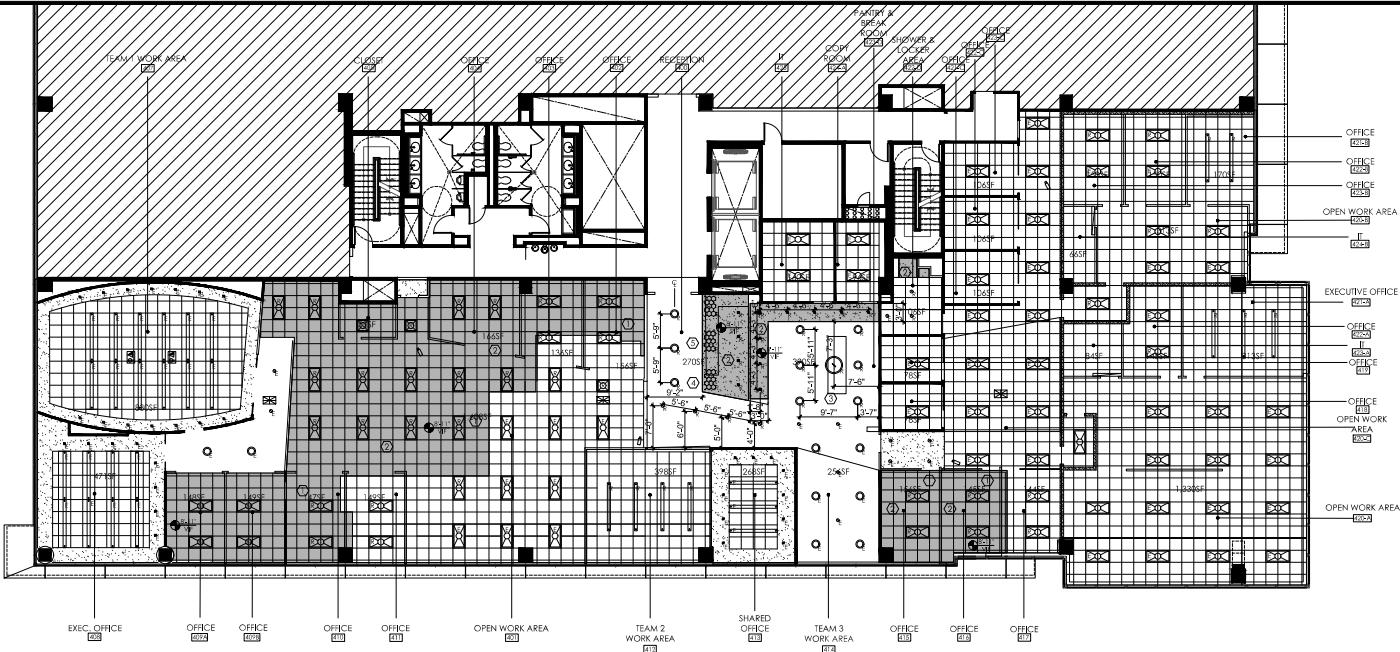
Date	Issue
29 NOV 2017	ISSUE#1
5 FEB 2018	COUNTY COMMENTS
22 FEB 2018	COUNTY COMMENTS
7 MAR 2018	COUNTY COMMENTS



Sheets/ACR
 022218
AT-1F

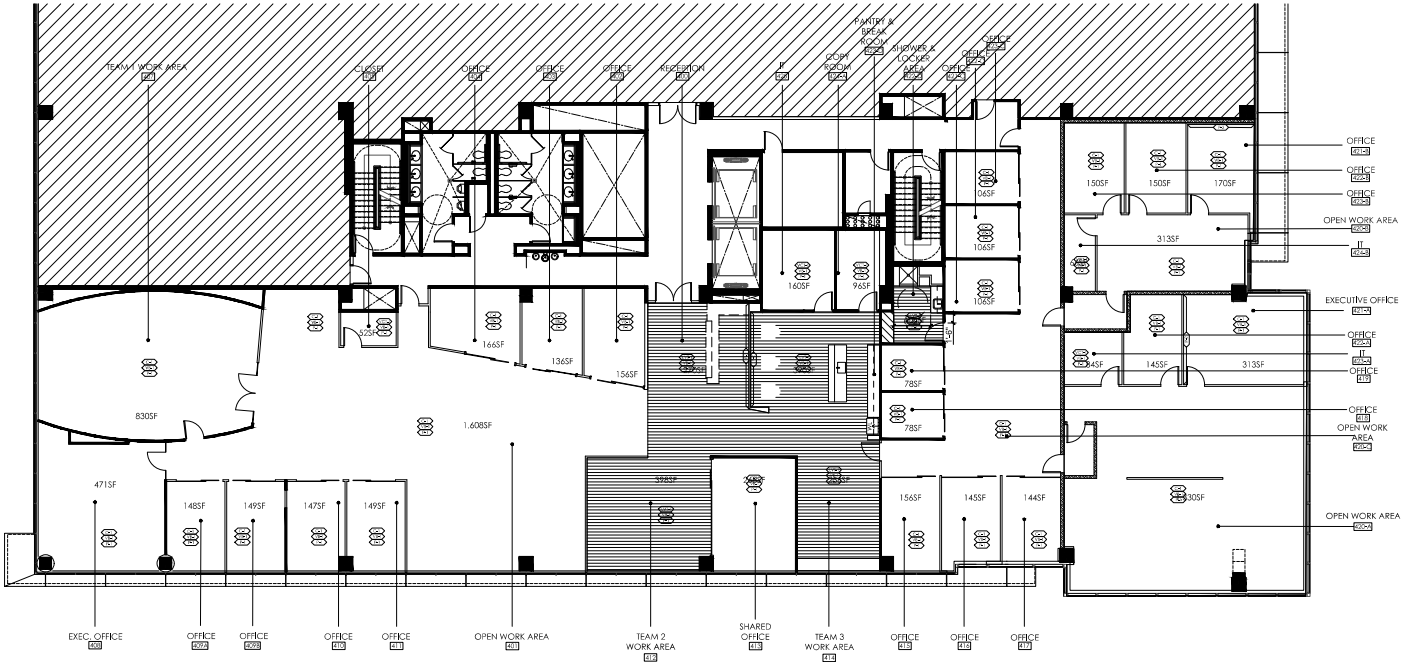
GENERAL NOTES

- ALL EXPOSED EDGES AND/OR CORNERS ON ALL PAINTED DRYWALL CONSTRUCTION SHALL RECEIVE A METAL BEAD WHICH IS TO BE TAPED AND FINISHED SMOOTH.
- WHERE NEW WALLS ARE TO ALIGN WITH THE EXISTING WALLS AND/OR COLUMNS, REMOVE EXISTING CORNER BEAD, TAPE, SPACKLE AND SAND SMOOTH JOINTS NECESSARY TO A POINT ALONG THE EXISTING WALL SO THAT NEW FINISH IS NOT OBVIOUS.
- ALL WOOD PRODUCTS TO BE FIRE-RATED IF REQUIRED BY GOVERNING BUILDING AUTHORITIES.
- FLOOR SLAB SHALL BE FLASH-PATCHED SMOOTH AS REQUIRED TO ACCEPT NEW FLOOR FINISHES.
- SUSPENDED CEILING TILE GRID, BULKHEAD, ETC., SHALL BE SUSPENDED FROM STRUCTURAL DECK ABOVE ONLY.
- ALL VERTICAL DIMENSIONS TO BE MADE FROM THE HIGHEST POINT OF FLOOR SLAB TO ENSURE PROPER ALIGNMENT OF ALL DOORS, BULKHEADS, ETC.
- LOCATE INSIDE EDGE OF ALL DOOR FRAMES 4 INCHES FROM THE ADJACENT PERPENDICULAR WALL, UNLESS OTHERWISE NOTED, IN ACCORDANCE WITH UFAS AND ADA AT INSIDE CORNERS.
- ALL PENETRATIONS OF FIRE-RATED ASSEMBLIES (FLOORS, WALLS AND/OR CEILINGS) SHALL BE FIRE-STOPPED TO COMPLY WITH APPLICABLE CODES AND IN ACCORDANCE WITH UL STANDARDS.
- WHEN PARTITION ABUTS MULLION, ALIGN PARTITION WITH CENTERLINE OF MULLION, U.O.N. (UNLESS OTHERWISE NOTED).
- DRAWINGS ARE NOT TO BE SCALED-DIMENSIONS GOVERN.
- WHERE DIMENSIONS ARE OMITTED ON DRAWINGS, LOCATE NEW WALLS, PARTITIONS OR OTHER FEATURES IN SELF-EVIDENT POSITIONS (I.E. ALIGNED WITH THE FACE OF EXISTING WALL, PARTITION OR COLUMN, CENTERS ON OPENING, COLUMN, MULLION OR SPACE ETC.)
- COORDINATE PROPOSED NEW WORK WITH EXISTING CONDITIONS TO ESTABLISH THE EXTENT OF DEMOLITION, (IF REQUIRED)
- INSTALL NEW FRAMES, DOORS AND HARDWARE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL PARTITIONS, DOORS, HARDWARE AND OTHER CONSTRUCTION ITEMS SHALL BE PROVIDED AS DESCRIBED IN THESE DOCUMENTS, GOVERNMENT REQUIREMENTS IN COMBINATION WITH EXISTING BUILDING STANDARDS. ALL HARDWARE SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND PROJECT REQUIREMENTS. SPECIAL HARDWARE TO BE PROVIDED AS NOTED IN THESE DRAWINGS (IF APPLICABLE) U.O.N.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FLOOR AND CEILING FINISHES TO ENSURE THAT JOINTS AND TRANSITIONS BETWEEN MATERIALS, WHETHER THEY BE WALL TO FLOOR, FLOOR TO FLOOR, WALL TO CEILING OR CEILING TO CEILING, WILL BE SMOOTH, TRUE, LEVEL AND IN ACCORDANCE WITH DRAWINGS, SPECIFICATIONS AND SCHEDULES.
- CONTRACTOR SHALL VERIFY IN FIELD ALL BASE BUILDING & INTERIOR DIMENSIONS INSIDE LIMIT OF WORK PRIOR TO BEGINNING WITH CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL DRYWALL PARTITIONS SHALL BE DIMENSIONED FROM FINISH FACE OF DRYWALL TO FACE U.O.N.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS INCLUDING MECHANICAL PRIOR TO DEMOLITION / CONSTRUCTION NECESSARY TO COMPLETE THE SCOPE OF WORK. CONTRACTOR SHALL COORDINATE ALL MECHANICAL ITEMS WITH MECHANICAL ENGINEERS TO ENSURE SAFE, PROPER INSTALLATION OF CEILING TILE GRIDS, PARTITIONS, MECHANICAL DUCT WORK, ELECTRICAL CONDUITS, ETC.



GENERAL FINISH NOTES

- ALL EXPOSED EDGES AND/OR CORNERS ON ALL PAINTED DRYWALL CONSTRUCTION SHALL RECEIVE A METAL BEAD WHICH IS TO BE TAPED AND FLOATED SMOOTH.
- WHERE NEW WALLS ARE TO ADJOIN WITH THE EXISTING WALLS AND/OR COLUMNS, REMOVE EXISTING CORNER BEAD, TAPE, SPACKLE AND SAND SMOOTH ALL NECESSARY JOINTS TO A POINT ALONG THE EXISTING WALL SO THAT NEW FINISH IS NOT OBSERVABLE.
- ALL WOOD PRODUCTS TO BE FIRE-RATED IF REQUIRED BY GOVERNING BUILDING AUTHORITIES.
- FLOOR SLAB SHALL BE FLASH-PATCHED SMOOTH AS REQUIRED TO ACCEPT NEW FLOOR FINISHES.
- SUSPENDED CEILING TILE GRID, BULKHEAD, ETC. SHALL BE SUSPENDED FROM STRUCTURAL DECK ABOVE ONLY.
- ALL VERTICAL DIMENSIONS TO BE MADE FROM THE HIGHEST POINT OF FLOOR SLAB TO ENSURE PROPER ALIGNMENT OF ALL DOORS, BULKHEADS, ETC.
- LOCATE INSIDE EDGE OF ALL DOOR FRAMES 6 INCHES FROM THE ADJACENT PERPENDICULAR WALL, UNLESS OTHERWISE NOTED, IN ACCORDANCE WITH UFAS AND ADA AT INSIDE CORNERS.
- ALL PENETRATIONS OF FIRE-RATED ASSEMBLIES (FLOORS, WALLS AND/OR CEILINGS) SHALL BE FIRESTOPPED TO COMPLY WITH APPLICABLE CODES AND IN ACCORDANCE WITH UL STANDARDS.
- WHEN PARTITION ADJUTS MULLION, ALIGN PARTITION WITH CENTERLINE OF MULLION, U.O.N. (UNLESS OTHERWISE NOTED).
- DRAWINGS ARE NOT TO BE SCALED - DIMENSIONS GOVERN.
- WHERE DIMENSIONS ARE OMITTED ON DRAWINGS, LOCATE NEW WALLS, PARTITIONS OR OTHER FEATURES IN SELF-EVIDENT POSITIONS (I.E. ALIGNED WITH THE FACE OF EXISTING WALL, PARTITION OR COLUMN, CENTERS ON OPENING, COLUMN, MULLION OR SPACE ETC.).
- COORDINATE PROPOSED NEW WORK WITH EXISTING CONDITIONS TO ESTABLISH THE EXTENT OF DEMOLITION (IF REQUIRED).
- INSTALL NEW FRAMES, DOORS AND HARDWARE IN ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS.
- ALL PARTITIONS, DOORS, HARDWARE AND OTHER CONSTRUCTION ITEMS SHALL BE PROVIDED AS DESCRIBED IN THESE DOCUMENTS AND IN COMBINATION WITH EXISTING BUILDING STANDARD AND GOVERNMENT REQUIREMENTS. ALL HARDWARE SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND PROJECT REQUIREMENTS. SPECIAL HARDWARE TO BE PROVIDED AS NOTED IN THESE DRAWINGS (IF APPLICABLE) U.O.N.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FLOOR AND CEILING FINISHES TO ENSURE THAT JOINTS AND TRANSITIONS BETWEEN MATERIALS, WHETHER THEY BE WALL TO FLOOR, FLOOR TO FLOOR, WALL TO CEILING OR CEILING TO CEILING, WILL BE SMOOTH, TRUE LEVEL, AND IN ACCORDANCE WITH DRAWINGS, SPECIFICATIONS AND SCHEDULES.
- CONTRACTOR SHALL VERIFY IN FIELD ALL BASE BUILDING & INTERIOR DIMENSIONS INSIDE LIMIT OF WORK PRIOR TO BEGINNING WITH CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL DRYWALL PARTITIONS SHALL BE DIMENSIONED FROM FINISH FACE OF DRYWALL TO FACE U.O.N.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS INCLUDING MECHANICAL PRIOR TO DEMOLITION CONSTRUCTION NECESSARY TO COMPLETE THE SCOPE OF WORK. CONTRACTOR SHALL COORDINATE ALL MECHANICAL ITEMS WITH MECHANICAL ENGINEERS TO ENSURE SAFE, PROPER INSTALLATION OF CEILING TILE GRIDS, PARTITIONS, MECHANICAL DUCT WORK, ELECTRICAL CONDUITS, ETC.
- PATCH AND PAINT EXIST. WALL WHERE JUNCTION BOX HAS BEEN REMOVED
- PAINT AT EXTERIOR BUILDING WALL AND INTERIOR CORE WALL BY LESSOR.
- IN ALL USE AREAS THE INTERIOR WALL FINISHES SHALL BE CLASS A, B OR C IN ACCORDANCE WITH TABL 803.9 AND SHALL ALSO COMPLY WITH NFPA SECTION 10.2. INTERIOR FLOOR SHALL BE IN ACCORDANCE WITH IBC 2012 SECTION 804 & NFPA 101 36.3.3.3 & 10.2.7.



1 NEW FINISH PLAN
Scale: 1/8" = 1'-0"

FINISH PLAN KEY NOTES

- ① NOT USED
- ② CONTRACTOR TO PROVIDE APPROPRIATE TRANSITION BETWEEN LV1/VCT AND CARPET.

FINISH PLAN SYMBOLS

EXISTING PARTITION	PAINT
PROPOSED PARTITION	ACCENT PAINT
NLC	CARPET
LVT	LUXURY VINYL TILE
	VINYL COMPOSITE TILE
	VINYL BASE

GENERAL NOTE:
CONTRACTOR TO COORDINATE W/TENANT FOR FINAL FINISHES AND LOCATIONS.

Notes Consultants

Drawn By _____
 Check By _____
 Job No. _____

Project _____

CHANTILLY, VA 20151

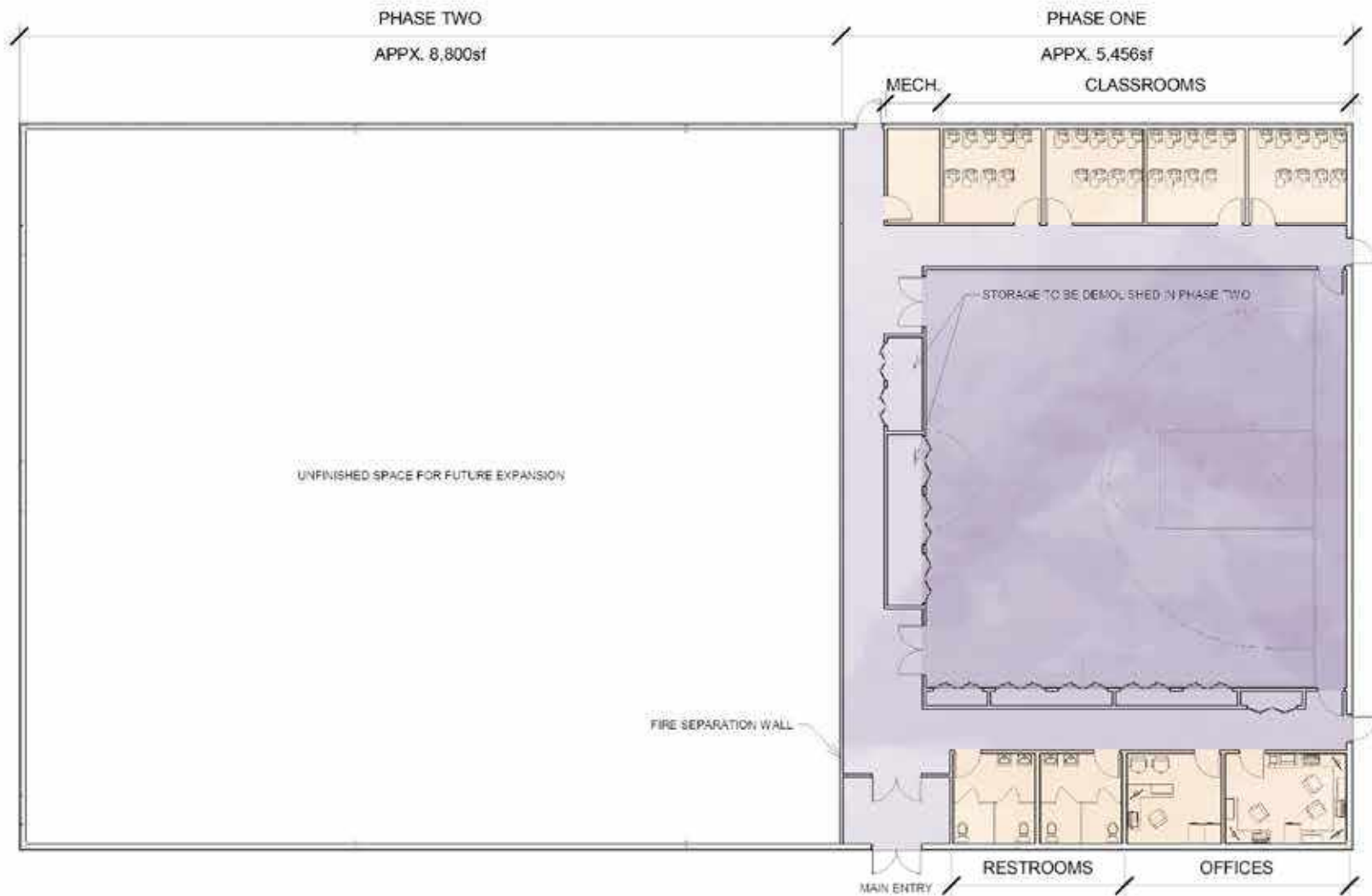
Drawing Title
FINISH PLAN

Date	Issue
19 NOV 2017	PERMIT
5 FEB 2018	COUNTY COMMENTS
22 FEB 2018	COUNTY COMMENTS
7 MAR 2018	COUNTY COMMENTS

Sheet No.
AT-4

NEW DIRECTION BIBLE FELLOWSHIP

A church group was gifted an unused horse barn and wanted to explore the possibility of converting it into a new church and community center. They requested two floor plan schemes, divided into phases. I was tasked with developing the schemes, ensuring that all programmatic requirements were met, minimizing the amount of demolition that would have to occur between phases, and be sensitive to budgetary concerns. All of this needed to be accomplished within the given 48 hour window.



New Direction Bible Fellowship
 Middletown, Delaware

Proposed Floor Plan
 Phase One

Note: For conceptual illustration only.
 Design, dimensions, colors, materials,
 and the location of signs and doors are
 subject to change.

SCHEME A
 page 1

P1699
 6.28.2020





New Direction Bible Fellowship
 Middletown, Delaware

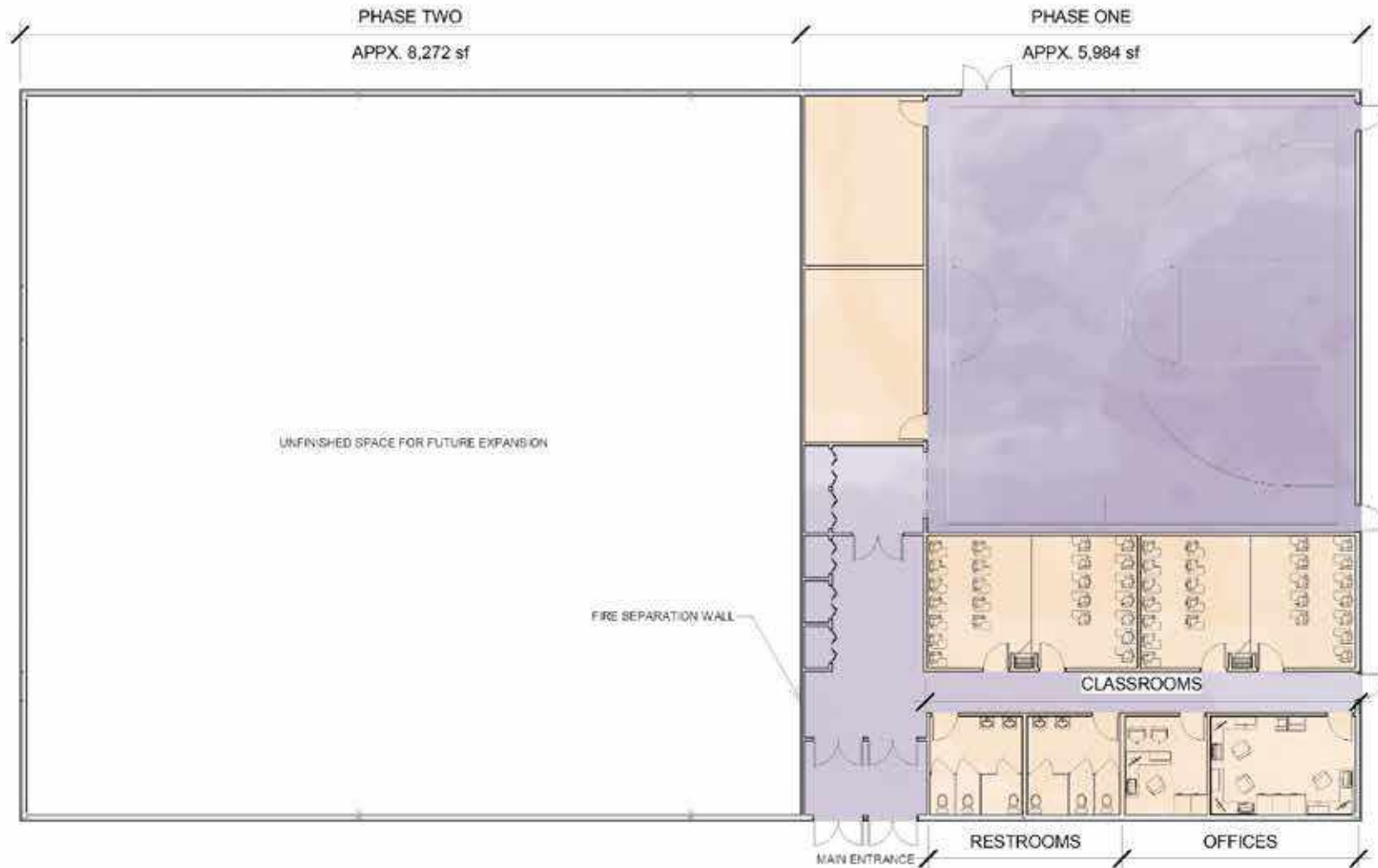
Proposed Floor Plan
 Phase Two

Note: For conceptual illustration only.
 Design, dimensions, colors, materials,
 and the location of signs and doors are
 subject to change.

SCHEME A
 page 2

P1699
 6.28.2020





New Direction Bible Fellowship

Middletown, Delaware

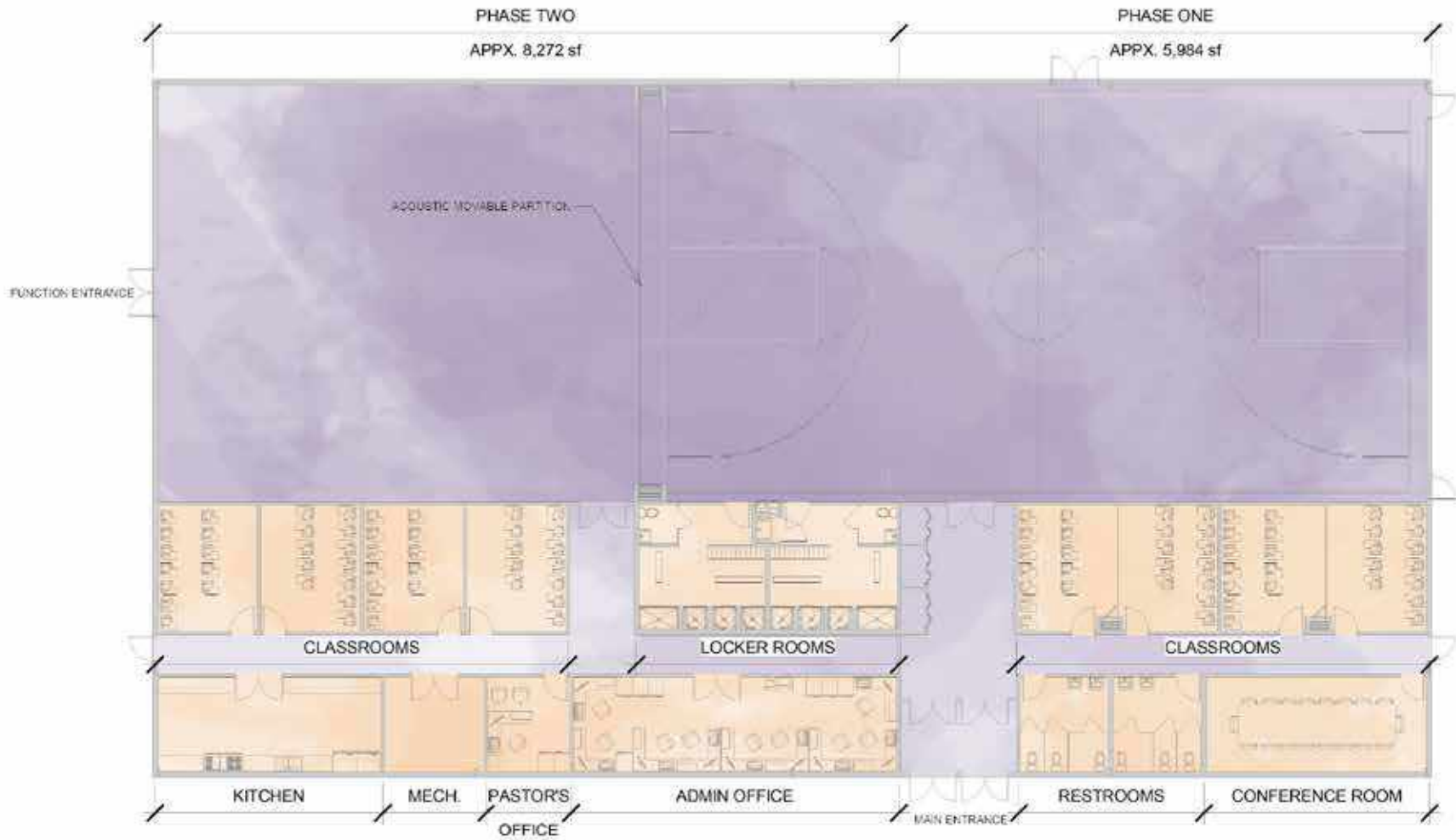
Proposed Floor Plan
Phase One

Note: For conceptual illustration only.
Design, dimensions, colors, materials,
and the location of signs and doors are
subject to change.

SCHEME B
page 3

P1699
6.28.2020





New Direction Bible Fellowship
Middletown, Delaware

Proposed Floor Plan
Phase Two

Note: For conceptual illustration only.
Design, dimensions, colors, materials,
and the location of signs and doors are
subject to change.

SCHEME B
page 4

P1699
6.28.2020



BOMA and PROPIDEX

I used the Propidex software to manage the BOMA calculations for five buildings, all between 8 and 11 floors. I was responsible for keeping them up to date and providing RSF/GSF for the leasing agents, as well as marketing materials to show to potential tenants. Before I left this position I took initiative and created a Propidex tutorial for office use with screenshots, troubleshooting, and contact information.

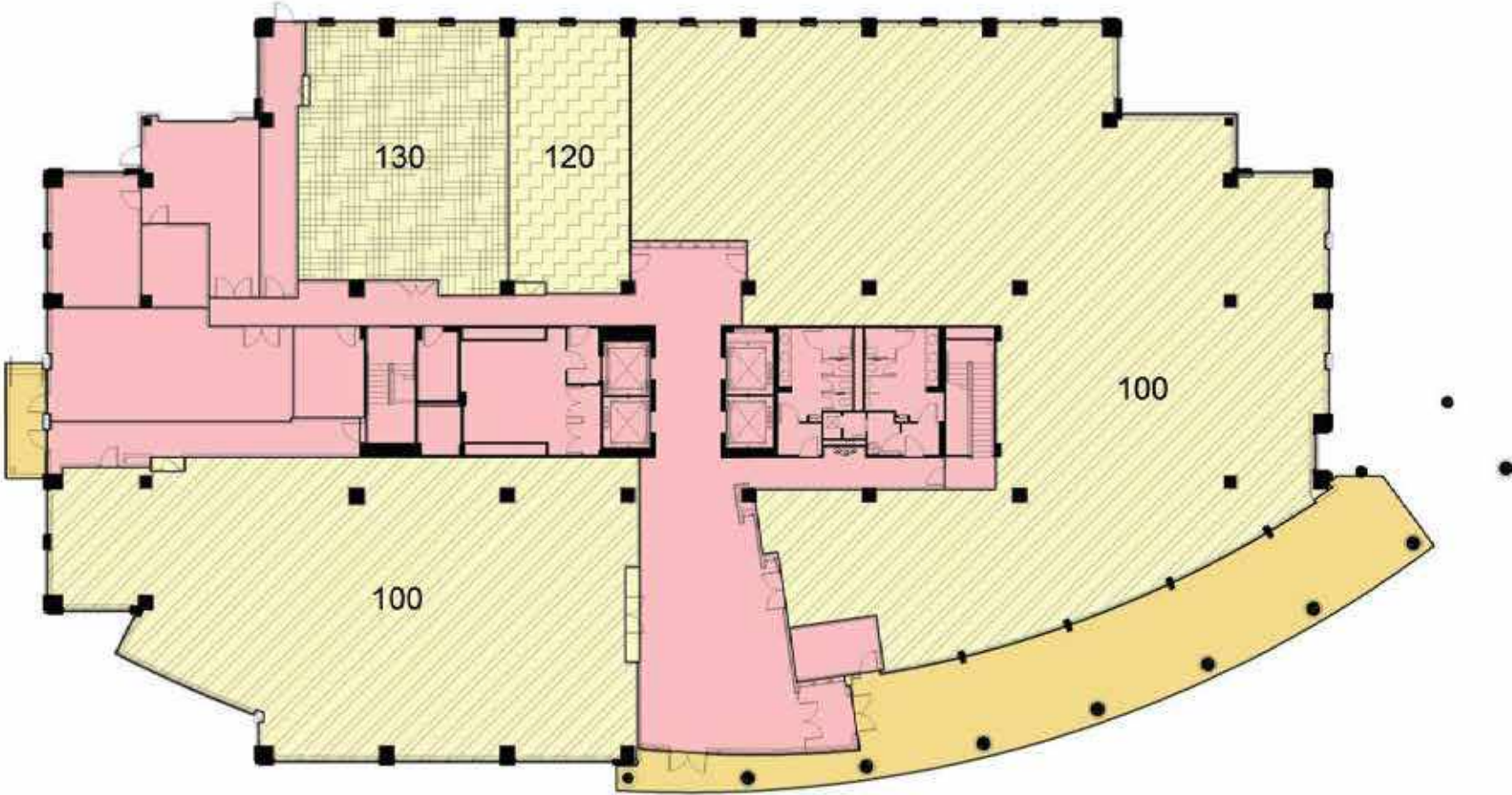
Master Drawing Area Calculations

A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	
Floor Level	Boundary Area (FMS 2)	Rentable Exclusions	Floor Rentable Area	Space ID	Tenant Area (FMS 3)	Tenant Ancillary Area	Occupant Area	Building Amenity Area	Inter-Building Amenity Area	Floor Usable Area	Building Service Area	Inter-Building Service Area	Floor Service Area	Floor Allocation Ratio	Floor Allocation	Building Amenity and Service Area	Building Allocation Ratio	Rentable Area	Reallocated Rentable Area	Load Factor A	
01				100A	4,264.12	50.09	4,314.21			4,314.21				1.0000	4,314.21		1.05387	4,546.59	4,546.59	1.05387	
				100B	8,136.51		8,136.51			8,136.51				1.0000	8,136.51		1.05387	8,574.78	8,574.78	1.05387	
				120	894.44	13.17	907.61			907.61				1.0000	907.61		1.05387	956.90	956.90	1.05387	
				130	1,502.99	4.04	1,509.03			1,509.03				1.0000	1,509.03		1.05387	1,590.31	1,590.31	1.05387	
				BIDG ENGINEER								176.19					176.19				
				ELEC. ROOM								94.88					94.88				
				ELEVATOR								378.67					378.67				
				EXIT CORRIDOR								652.37					652.37				
				FIRE MGMT								134.39					134.39				
				LOADING DOCK								441.73					441.73				
				LOBBY								2,379.01					2,379.01				
				MECH ROOM								564.59					564.59				
				PUMP ROOM								345.14					345.14				
				RESTROOM								595.40					595.40				
				STAIR								437.08					437.08				
				SWITCHGEAR EOG								725.96					725.96				
				TEL. ROOM								157.02					157.02				
		1,950.34		ENTRANCE GALLER																	
		125.90		EXIT PATIO																	
	24,026.01	2,076.23	21,949.78		14,798.06	69.30	14,867.36			14,867.36	7,062.42			1.0000	14,867.36	7,062.42	1.05387	15,665.19	15,665.19	1.05387	ok
02				200	9,745.43	17.00	9,742.43			9,742.43				1.09801	10,719.23		1.05387	11,296.62	11,296.62	1.15715	
				220	2,358.98		2,358.98			2,358.98				1.09801	2,590.18		1.05387	2,729.70	2,729.70	1.15715	
				250	9,062.12		9,062.12			9,062.12				1.09801	9,950.28		1.05387	10,486.25	10,486.25	1.15715	
			832.50	Major Vertical Pen																	
	24,092.19	832.50	23,259.69		21,166.53	17.00	21,183.53			21,183.53		2,076.18	1.09801	23,259.69		1.05387	24,512.57	24,512.57	1.15715	ok	
03				300	13,760.58		13,760.58			13,760.58				1.09947	15,129.29		1.05387	15,946.23	15,946.23	1.15869	
				350	7,394.86		7,394.86			7,394.86				1.09947	8,130.40		1.05387	8,568.34	8,568.34	1.15869	
			832.50	Major Vertical Pen																	
	24,092.19	832.50	23,259.69		21,155.44		21,155.44			21,155.44		2,104.25	1.09947	23,259.69		1.05387	24,512.57	24,512.57	1.15869	ok	
04				400	21,155.44	915.90	22,071.34			22,071.34				1.05384	23,259.70		1.05387	24,512.57	24,512.57	1.11061	
			832.50	Major Vertical Pen																	
	24,092.19	832.50	23,259.70		21,155.44	915.90	22,071.34			22,071.34		1,188.35	1.05384	23,259.70		1.05387	24,512.57	24,512.57	1.11061	ok	
05				500	15,386.12	96.87	15,482.99			15,482.99				1.09880	17,012.74		1.05387	17,929.12	17,929.12	1.15799	
				520	5,608.37	74.87	5,685.24			5,685.24				1.09880	6,246.75		1.05387	6,585.44	6,585.44	1.15799	
			832.50	Major Vertical Pen																	
	24,092.19	832.50	23,259.69		20,994.49	173.74	21,168.23			21,168.23		2,091.44	1.09880	23,259.69		1.05387	24,512.56	24,512.56	1.15799	ok	
06				600	16,401.40	165.84	16,567.24			16,567.24				1.10001	18,224.09		1.05387	19,205.72	19,205.72	1.15926	
				610	1,593.56	34.05	1,627.61			1,627.61				1.10001	1,796.38		1.05387	1,884.82	1,884.82	1.15926	
				650	2,914.66	35.53	2,950.18			2,950.18				1.10001	3,245.22		1.05387	3,420.03	3,420.03	1.15926	
		832.50	Major Vertical Pen																		
	24,092.19	832.50	23,259.69		20,909.61	235.42	21,145.04			21,145.04		2,114.65	1.10001	23,259.69		1.05387	24,512.57	24,512.57	1.15926	ok	

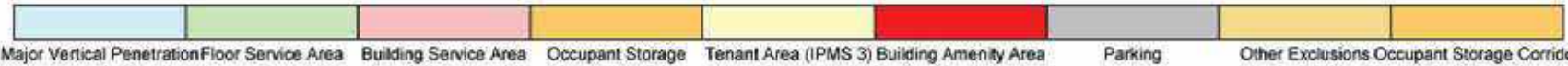
Master Drawing Area Calculations

A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U		
Floor Level	Boundary Area (FMS)	Excludes	Floor Rentable Area	Space ID	Tenant Area (FMS)	Tenant Auxiliary Area	Occupant Area	Building Amenity Area	Inter-Building Amenity Area	Floor Usable Area	Building Service Area	Inter-Building Service Area	Floor Service Area	Floor Allocation Ratio	Floor Allocation	Building Amenity and Service Area	Building Allocation Ratio	Available Area	Reallocated Rentable Area	Load Factor A		
07				700	9,600.41	94.84	9,695.27			9,695.27				1.11285	10,789.34		1.05387	11,370.52	11,370.52	1.17279		
				720	7,293.07	14.67	7,307.74			7,307.74				1.11285	8,132.40		1.05387	8,570.45	8,570.45	1.17279		
				730	3,854.91	41.15	3,896.06			3,896.06				1.11285	4,337.94		1.05387	4,571.60	4,571.60	1.17279		
		532.49		Major Vertical Pen																		
	24,092.19	532.49	23,259.70		20,790.59	160.67	20,951.27			20,961.07			2,358.63	1.11285	23,259.70		1.05387	24,512.68	24,512.68	1.17279	no assigned spo	
08				800	21,134.03	935.31	22,071.34			22,071.34				1.05384	23,259.69		1.05387	24,512.57	24,512.57	1.11061		
		532.50		Major Vertical Pen																		
		24,092.19	532.50	23,259.69		21,134.03	935.31	22,071.34		22,071.34			1,186.55	1.05384	23,259.69		1.05387	24,512.57	24,512.57	1.11061	ok	
09				MECH ROOM						2,488.54						2,488.54						
		203.97		Major Vertical Pen																		
	2,492.51	203.97	2,488.54							2,488.54				1.00600	0.00	2,488.54	1.05387	0.00			ok	
Building	195,363.80	8,107.65	187,256.20		162,066.00	2,497.35	164,563.30			164,563.30	9,579.96		13,121.87		177,685.20	9,579.96		187,256.20	187,256.20	1.13790		

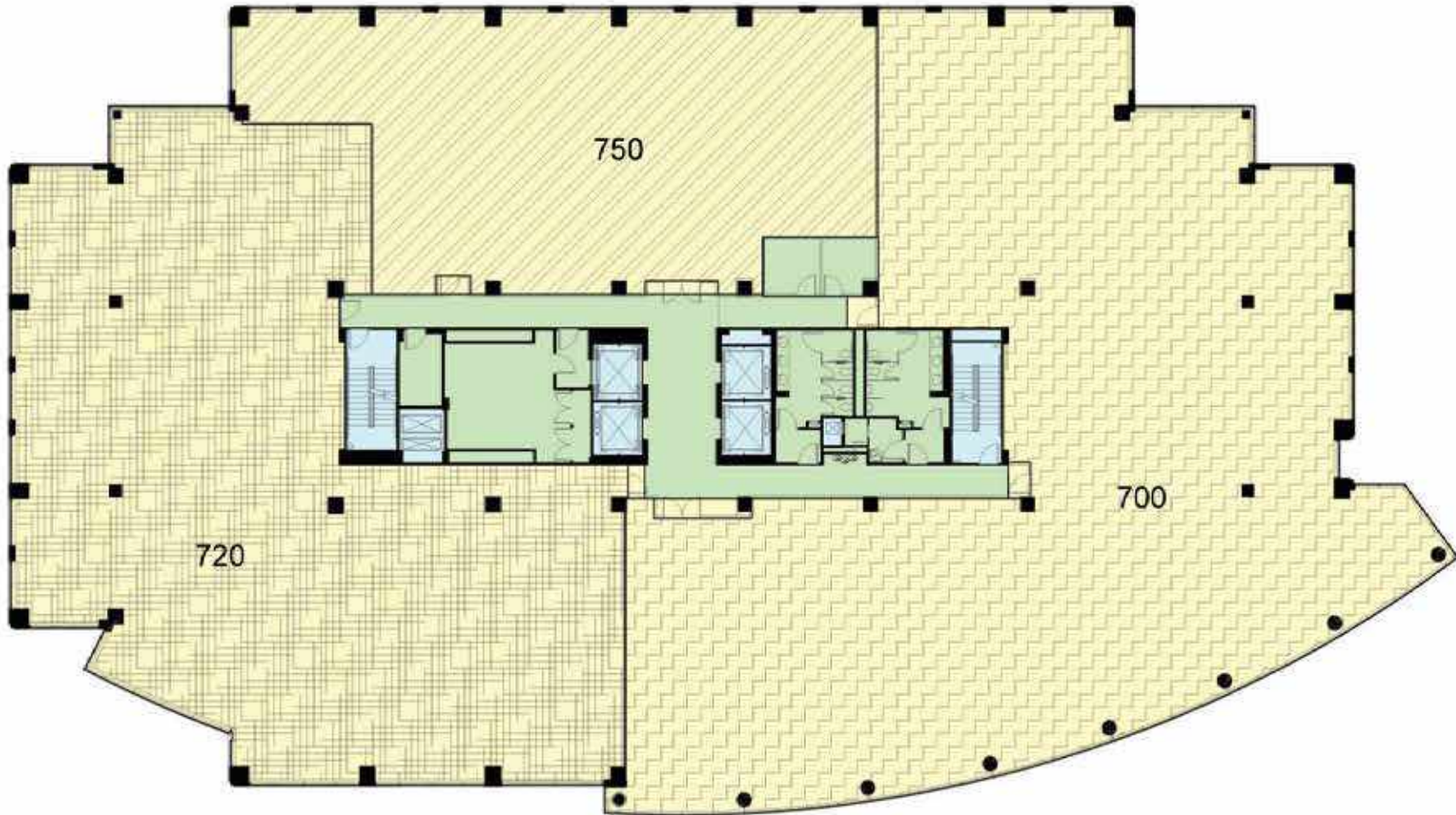
Floor 01 - Area Categories



Note: all dimensions and square footage shown are approximate.



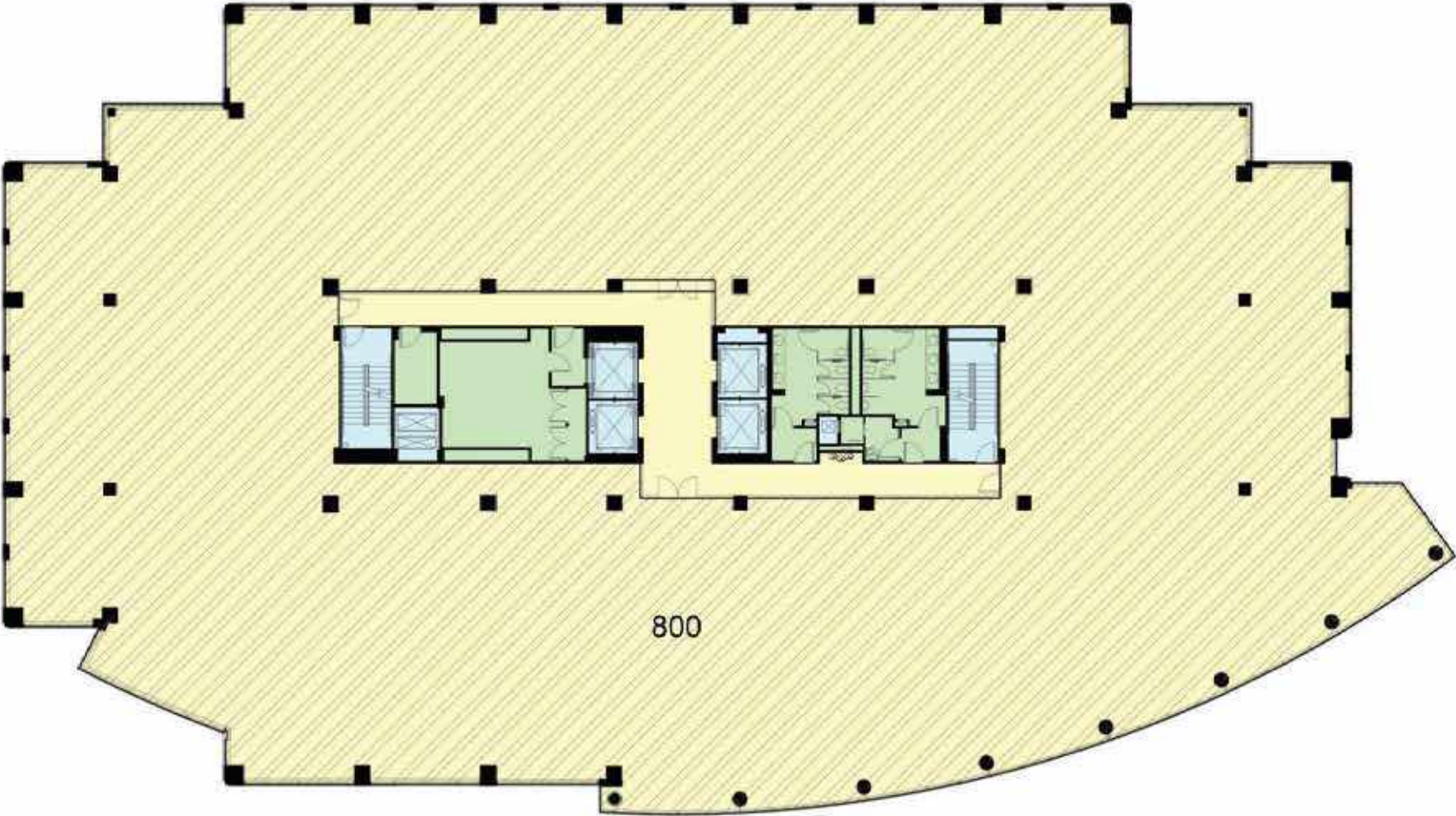
Floor 07 - Area Categories



Note: all dimensions and square footage shown are approximate.



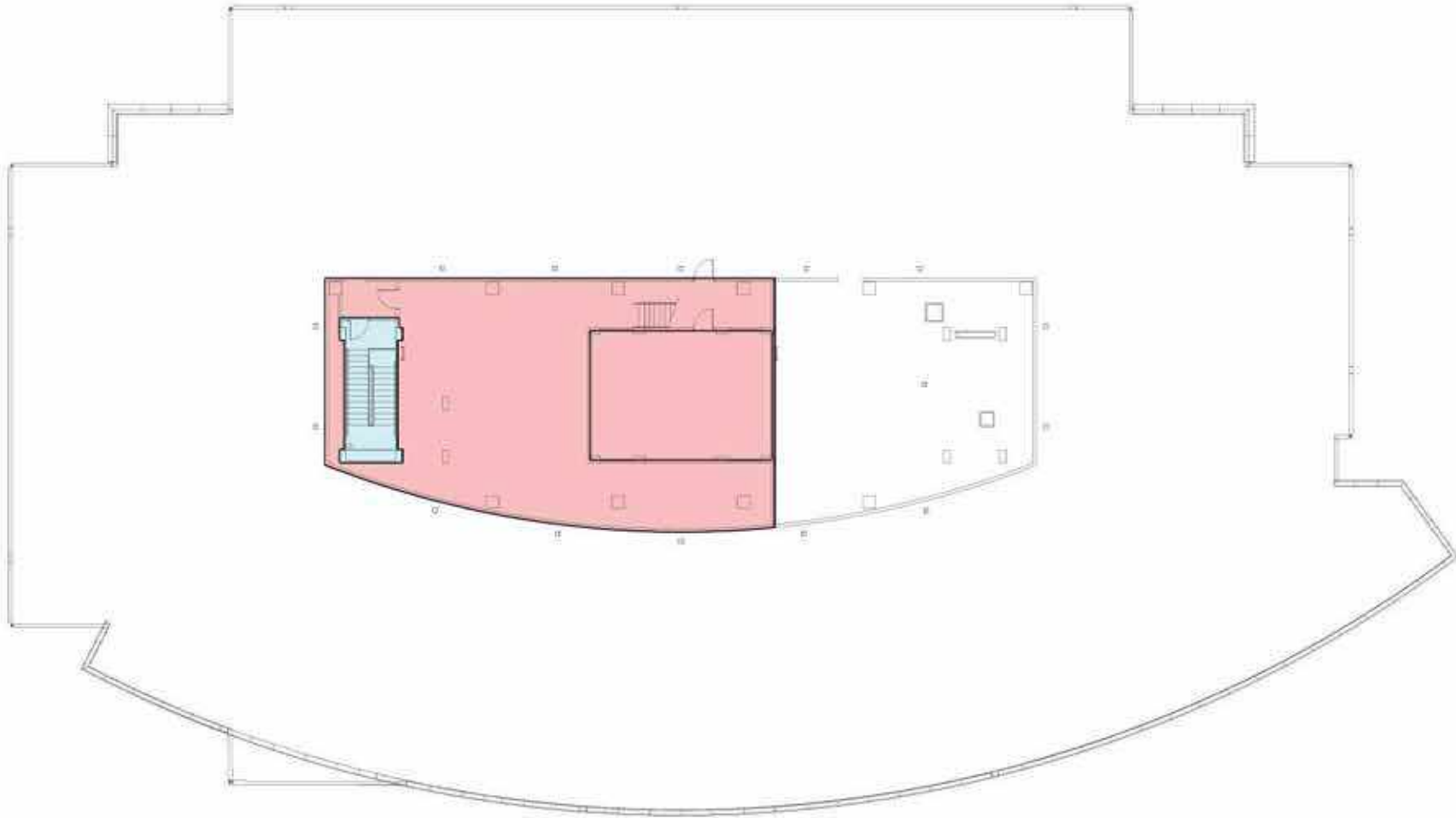
Floor 08 - Area Categories



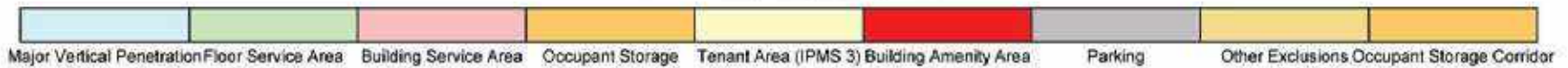
Note: all dimensions and square footage shown are approximate.

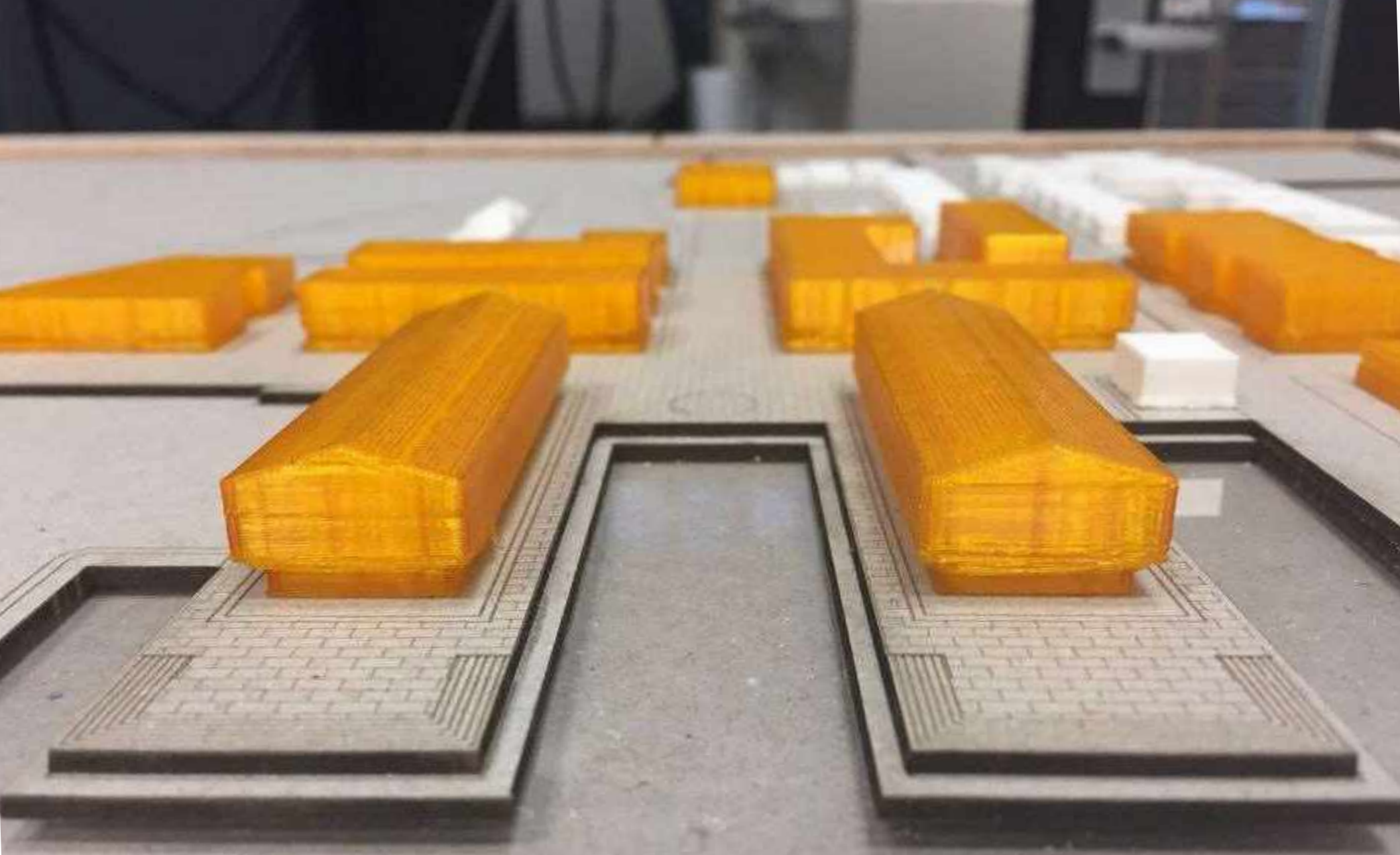


Floor 09 - Area Categories



Note: All dimensions and square footage shown are approximate.





THANK YOU FOR YOUR TIME AND CONSIDERATION